



YOUR INSPECTION REPORT

The best home inspection experience available.

PREPARED BY:

Mark Bowditch



FOR THE PROPERTY AT:

1 INSPECTION WAY
Kanata, ON

PREPARED FOR:

ACCURATE BUILDING INSPECTIONS

INSPECTION DATE:

Saturday, November 25, 2023



**ACCURATE
BUILDING INSPECTIONS**

Accurate Building Inspections Inc.

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SUMMARY

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines items that are general maintenance items or should be monitored. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

ROOF DRAINAGE \ Gutters

Condition: • [Missing](#)

Consider adding gutters on all the draining roof edges of the house.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout First Floor Second Floor Roof

Task: Provide

Time: As soon as possible

EXTERIOR GLASS/WINDOWS \ Window wells

Condition: • Clean window well

Window wells should be cleaned regularly. They should be kept free of debris and not used for storage.

Location: North Exterior Yard

Task: Clean

Time: Regular maintenance

Heating

FURNACE \ Air filter

Condition: • [Dirty](#)

The furnace filter should be changed once a month. When changing, use 16" x 25" x 1" Merv 8 filters. The arrow on the filter should point toward the furnace.

Implication(s): Increased heating costs | Reduced comfort | Increased maintenance costs | Equipment ineffective

Location: East Basement Furnace Room

Task: Replace

Time: Monthly

FURNACE \ General notes

Condition: • Service Furnace

The furnace should be serviced annually before the start of the heating season.

Location: East Basement Furnace Room

Task: Service

Time: Annually

FURNACE \ Humidifier

Condition: • [Dirty](#)

The humidifier should be used when the furnace is operating. The humidifier filter should be changed in the spring after seasonal use.

Implication(s): Equipment not operating properly

SUMMARY

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Location: East Basement Furnace Room

Task: Clean

Time: Annually

HEAT RECOVERY VENTILATOR \ General notes

Condition: • Dirt in cabinet

The HRV needs to be cleaned as per the manufacture specifications. The HRV should be used when the furnace is operating.

Implication(s): Equipment ineffective

Location: East Basement Furnace Room

Task: Clean

Time: As per the manufacturer's specifications

Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • [Dishwasher drain connections](#)

Improve the dishwasher discharge line below the kitchen sink. The discharge line should go to the underside of the counter top before connecting to the sink drain.

Implication(s): Chance of water damage to structure, finishes and contents

Location: North First Floor Kitchen

Task: Repair

Time: At this time

Interior

APPLIANCES \ Dryer

Condition: • Clean dryer vent

The dryer vent needs to be cleaned regularly.

Location: West Second Floor Soffit

Task: Clean

Time: Regular maintenance

This concludes the Summary section.

The remainder of the report describes each building system and details our improvement recommendations. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase building inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

The home is considered to face: • South

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Aluminum

Probability of leakage: • Low

Limitations

Inspection performed: • From the ground • With a drone

Recommendations / Observations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • [Exposed fasteners](#)

Seal the exposed fasteners on the roof vents and plumbing stack flange.

Implication(s): Chance of water damage to structure, finishes and contents

Location: North West Second Floor Roof

Task: Repair

Time: Builder item



1. Exposed fasteners



2. Exposed fasteners

ROOFING

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

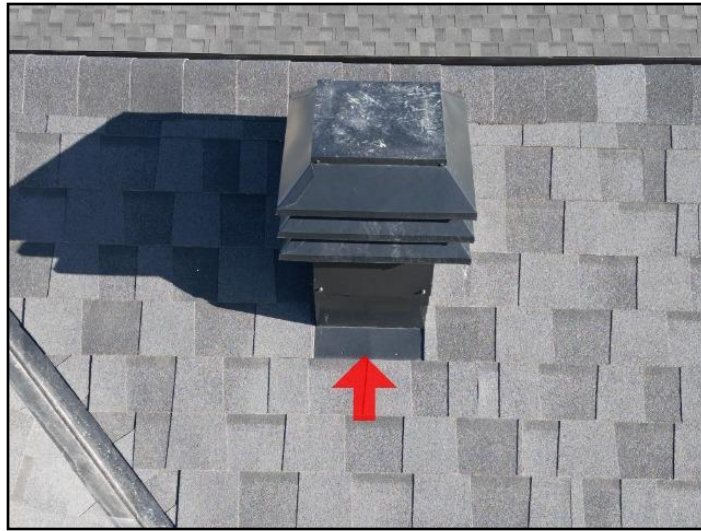
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



3. Exposed fasteners

2. **Condition:** • Remove all loose debris from roof coverings.

Remove all the debris and dirt from the roof coverings.

Location: Garage Porch Roof

Task: Repair

Time: Builder item



4. Remove all loose debris from roof coverings.



5. Remove all loose debris from roof coverings.

3. **Condition:** • Shingles uneven

Repair the visible ridges in the garage and porch roof shingles.

Location: South Garage Porch Roof

Task: Repair

Time: Builder item

ROOFING

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



6. Shingles uneven



7. Shingles uneven



8. Shingles uneven



9. Shingles uneven

SLOPED ROOF FLASHINGS \ Roof/wall flashings

4. Condition: • [Damage, loose, open seams, patched](#)

Repair the loose and open seams in the roof-to-wall flashing on the garage and porch roofs. Repair the wall flashing at the transition from the garage to the porch roof that is not high enough above the porch roof.

Implication(s): Chance of water damage to structure, finishes and contents

Location: South Garage Porch Roof

Task: Repair

Time: Builder item

ROOFING

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



10. Damage, loose, open seams, patched



11. Damage, loose, open seams, patched



12. Damage, loose, open seams, patched

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Gutter & downspout material: • No gutters or downspouts

Lot slope: • [Towards building](#) • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#)

Wall surfaces and trim: • [Vinyl siding](#)

Wall surfaces - masonry: • [Brick](#) • [Stone](#) • [Block](#)

Driveway: • Gravel

Walkway: • Patio stones

Deck: • Raised • Wood • Metal

Porch: • Concrete

Exterior steps: • Concrete • Missing

Limitations

Inspection limited/prevented by: • New finishes/paint/trim

Exterior inspected from: • Ground level

Recommendations / Observations

ROOF DRAINAGE \ Gutters

5. Condition: • [Missing](#)

Consider adding gutters on all the draining roof edges of the house.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout First Floor Second Floor Roof

Task: Provide

Time: As soon as possible

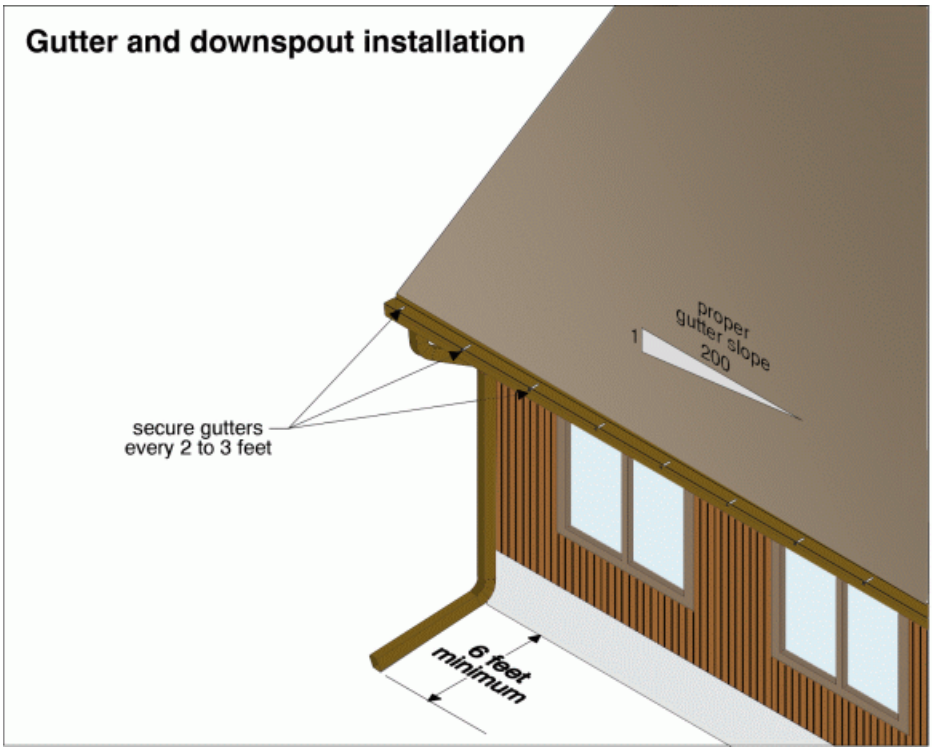
EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									



13. Missing



14. Missing

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



15. Missing

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

6. Condition: • [Damage](#)

Repair the dents in the soffit on the east side of the house.

Implication(s): Chance of water damage to structure, finishes and contents

Location: East Second Floor Soffit

Task: Repair

Time: Builder item



16. Damage

7. Condition: • [Loose or missing pieces](#)

Install the missing north facing fascia on the east side of the front porch roof.

Implication(s): Chance of pests entering building | Chance of water damage to structure, finishes and contents

Location: East Porch Roof

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Task: Repair

Time: Builder item



17. *Loose or missing pieces*

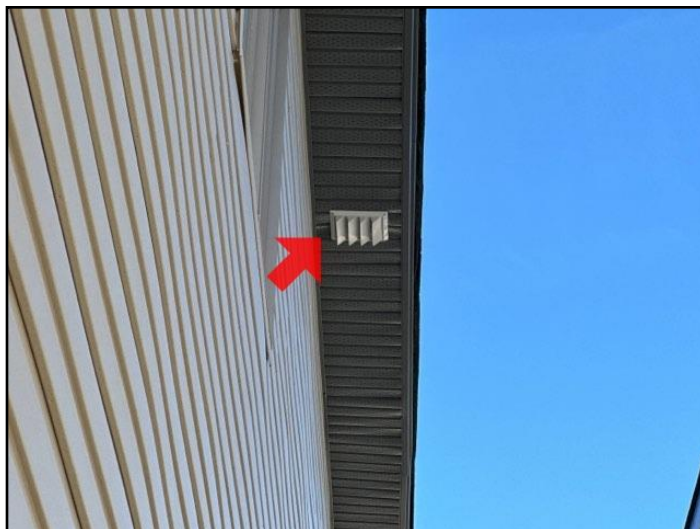
8. Condition: • Exhaust vents in soffits positioned backwards

Repair the exhaust vents in the roof soffit. The vents need to be installed, so they direct the air away from the house.

Location: East Second Floor Soffit

Task: Repair

Time: Builder item



18. *Exhaust vents in soffits positioned backwards*

WALLS \ Trim

9. Condition: • [Loose](#)

Repair the loose trim at the top of the front porch columns.

Implication(s): Chance of water damage to structure, finishes and contents

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

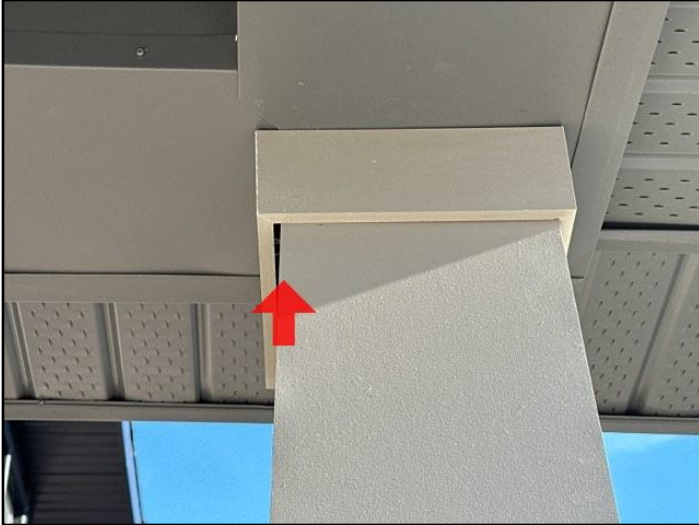
INTERIOR

REFERENCE

Location: South Exterior Porch

Task: Repair

Time: Builder item



19. Loose



20. Loose

10. Condition: • [Missing](#)

Provide the missing trim above the front bedroom arched window.

Implication(s): Chance of water damage to structure, finishes and contents

Location: South Second Floor Exterior Wall

Task: Repair

Time: Builder item



21. Missing

11. Condition: • Not level

Repair the water metre transmitter on the east side of the house at the south corner that has been installed out of level.

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Location: East First Floor Exterior Wall

Task: Repair

Time: Builder item



22. Not level

WALLS \ Flashings and caulking

12. Condition: • [Caulking missing or ineffective](#)

Provide the missing caulking at the transition between the siding and foundation on the east side of the house below the front porch slab.

Implication(s): Chance of water damage to structure, finishes and contents

Location: East Foundation Exterior Wall

Task: Repair

Time: Builder item



23. Caulking missing or ineffective

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

WALLS \ Vinyl siding

13. Condition: • [Mechanical damage](#)

Repair the uneven "J" trim on the west side of the house at the north face of the garage roof. Repair the gaps and unevenness in the "J".

Implication(s): Chance of water damage to structure, finishes and contents

Location: West First Floor Exterior Wall

Task: Repair

Time: Builder item



24. Mechanical damage

14. Condition: • [Buckled or wavy](#)

Repair the buckle in the vinyl siding on the east wall of the house above the dining room and gas fireplace exhaust vent area.

Implication(s): Chance of water damage to structure, finishes and contents

Location: East First Floor Exterior Wall

Task: Repair

Time: Builder item

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



25. Buckled or wavy

15. Condition: • [Loose or missing pieces](#)

Install the missing siding on the west wall of the house.

Implication(s): Chance of water damage to structure, finishes and contents

Location: West First Floor Exterior Wall

Task: Repair

Time: Builder item



26. Loose or missing pieces



27. Loose or missing pieces

WALLS \ Masonry (brick, stone) and concrete

16. Condition: • [Mechanical damage](#)

Remove the exposed brick tie on the front wall of the house below the porch roof.

Implication(s): Weakened structure | Chance of water entering building

Location: South Exterior Porch

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									

Task: Repair
Time: Builder item



28. Mechanical damage

17. **Condition:** • [Masonry deterioration](#)

Repair the bricks at the base of the front porch columns that have not been installed level or plumb.

Implication(s): Chance of structural movement | Weakened structure

Location: South Exterior Porch

Task: Repair

Time: Builder item



29. Masonry deterioration



30. Masonry deterioration

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

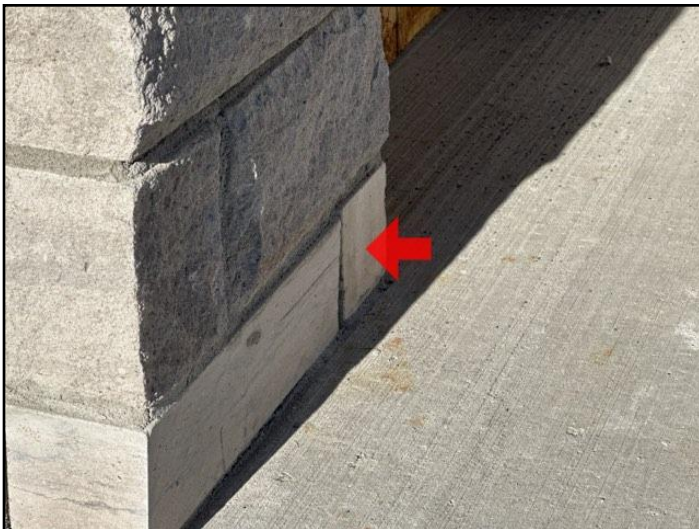
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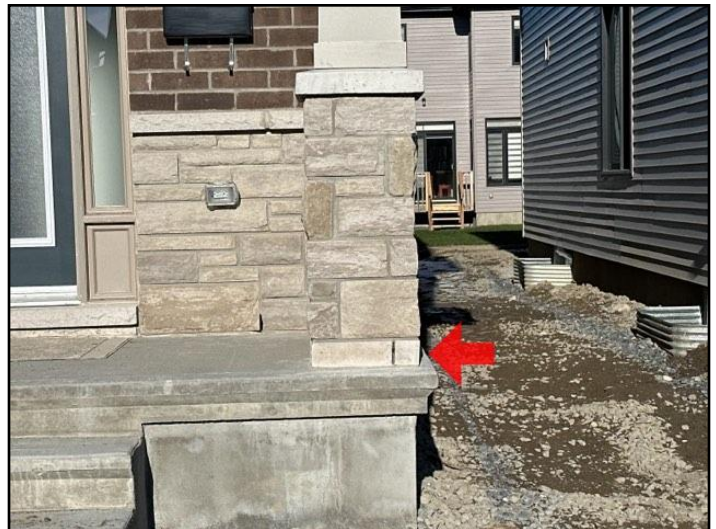
31. Masonry deterioration



32. Masonry deterioration



33. Masonry deterioration



34. Masonry deterioration

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

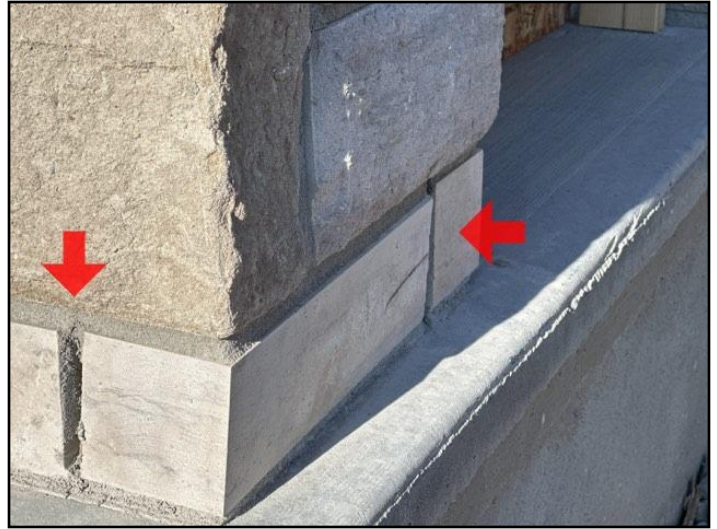
PLUMBING

INTERIOR

REFERENCE



35. Masonry deterioration



36. Masonry deterioration



37. Masonry deterioration

18. Condition: • [Masonry deterioration](#)

Remove the exposed steel lintel below the stone veneer wall on the west side of the garage door opening.

Implication(s): Chance of structural movement | Weakened structure

Location: South Garage Exterior Wall

Task: Repair

Time: Builder item

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



38. Masonry deterioration

19. Condition: • [Masonry deterioration](#)

Remove the exposed brick ties and strapping between the garage door lintel and concrete block veneer wall.

Implication(s): Chance of structural movement | Weakened structure

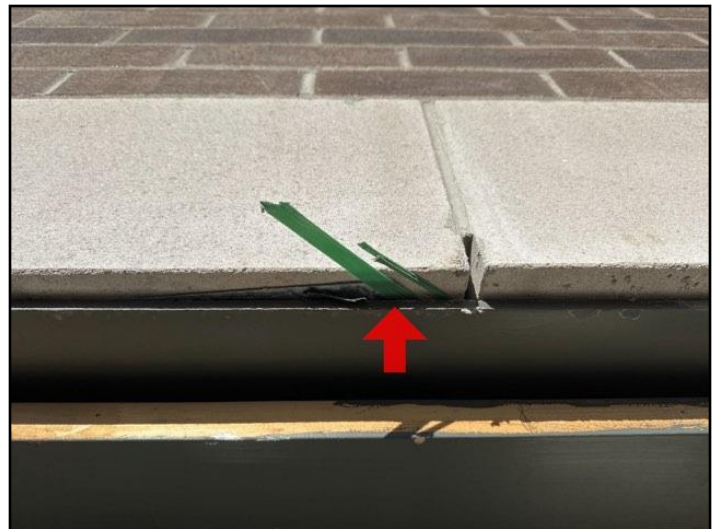
Location: South Garage Exterior Wall

Task: Repair

Time: Builder item



39. Masonry deterioration



40. Masonry deterioration

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

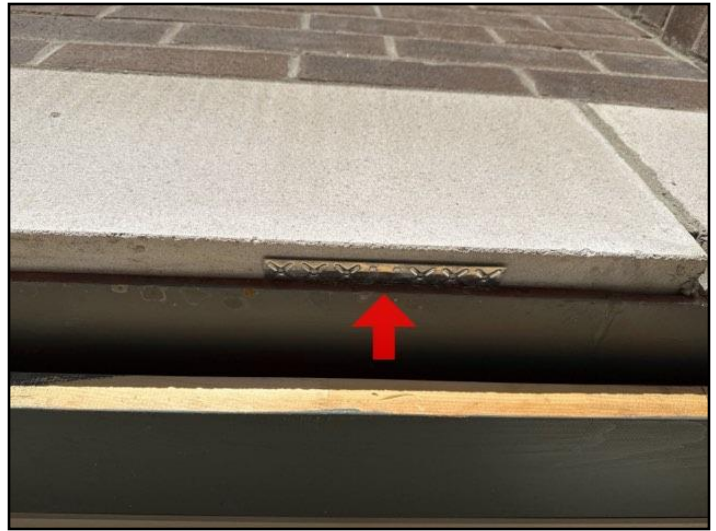
PLUMBING

INTERIOR

REFERENCE



41. Masonry deterioration



42. Masonry deterioration

20. Condition: • [Masonry deterioration](#)

Repair the chipped and out of plumb block and brick veneer around the front second floor windows.

Implication(s): Chance of structural movement | Weakened structure

Location: South Second Floor Exterior Wall

Task: Repair

Time: Builder item



43. Masonry deterioration



44. Masonry deterioration

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



45. Masonry deterioration



46. Masonry deterioration



47. Masonry deterioration



48. Masonry deterioration

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



49. Masonry deterioration



50. Masonry deterioration

21. Condition: • Chipped

Repair the chipped concrete caps on the front porch columns.

Location: South Exterior Porch

Task: Repair

Time: Builder item



51. Chipped



52. Chipped

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



53. Chipped



54. Chipped



55. Chipped



56. Chipped

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



57. Chipped



58. Chipped

22. Condition: • Debris on brick

Repair the mortar splatter on the brick veneer walls on the south and west faces of the house that are visible from 6 meters away in natural light.

Location: South First Floor Second Floor Exterior Wall

Task: Repair

Time: Builder item



59. Debris on brick



60. Debris on brick

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



61. Debris on brick



62. Debris on brick



63. Debris on brick

WALLS \ Vent (fan, clothes dryer, etc.)

23. Condition: • Cover damaged

Repair the first floor bathroom exhaust vent on the east side of the house that has not been installed or flush with the wall.

Implication(s): Increased operating costs

Location: East First Floor Exterior Wall

Task: Repair

Time: Builder item

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

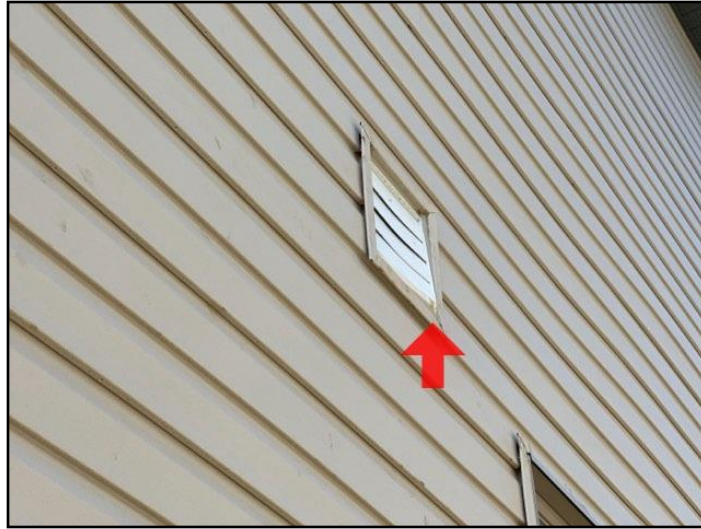
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



64. Cover damaged

WINDOWS \ General notes

24. Condition: • Damage

Remove the spray foam and protective film from the windows on the east side of the house. Repair the scratches in the windows and frames.

Implication(s): Reduced comfort | Increased heating and cooling costs

Location: East First Floor Second Floor Exterior Wall

Task: Repair

Time: Builder item



65. Damage



66. Damage

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



67. Damage



68. Damage



69. Damage



70. Damage

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



71. Damage

25. Condition: • Damage

Remove the spray foam, adhesive, and protective film from the windows on the north side of the house. Repair the scratches in the windows and frames.

Implication(s): Reduced comfort | Increased heating and cooling costs

Location: North First Floor Second Floor Exterior Wall

Task: Repair

Time: Builder item



72. Damage



73. Damage

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



74. Damage



75. Damage



76. Damage



77. Damage

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



78. Damage



79. Damage



80. Damage



81. Damage



82. Damage

EXTERIOR GLASS/WINDOWS \ Storms and screens

26. Condition: • [Missing](#)

Install the missing screen and track on the rear basement window beside the exterior A/C coil.

Implication(s): Reduced comfort | Increased heating and cooling costs

Location: North Basement Exterior Wall

Task: Repair

Time: Builder item



83. Missing

EXTERIOR GLASS/WINDOWS \ Window wells

27. Condition: • Remove all debris from window well.

Remove the construction debris from the window wells. Ensure the window well drains are not blocked and drain freely. Provide the missing gravel in the wells and ensure the foundation membrane is fully covered.

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Location: North Exterior Yard

Task: Repair

Time: Builder item



84. Remove all debris from window well.



85. Remove all debris from window well.



86. Remove all debris from window well.



87. Remove all debris from window well.

28. Condition: • Clean window well

Window wells should be cleaned regularly. They should be kept free of debris and not used for storage.

Location: North Exterior Yard

Task: Clean

Time: Regular maintenance

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



88. Clean window well



89. Clean window well

DOORS \ Exterior trim

29. Condition: • [Damaged, cracked or loose](#)

Repair the scratches and chips in the front entrance door frame.

Implication(s): Chance of damage to finishes and structure

Location: South First Floor Entrance

Task: Repair

Time: Builder item



90. Damaged, cracked or loose



91. Damaged, cracked or loose

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

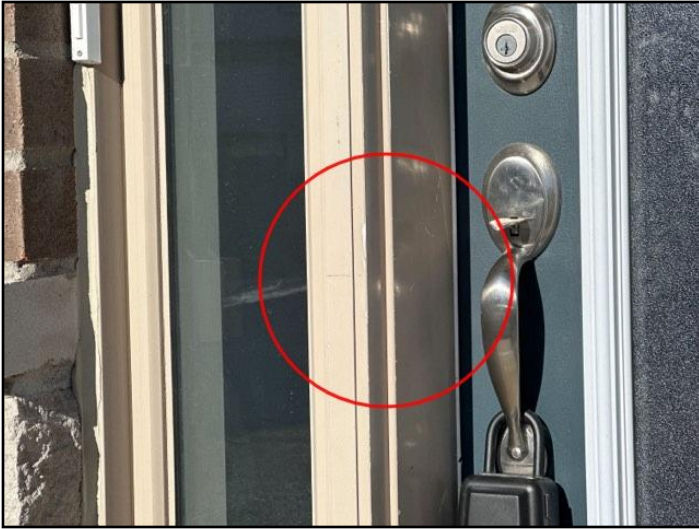
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



92. Damaged, cracked or loose



93. Damaged, cracked or loose



94. Damaged, cracked or loose



95. Damaged, cracked or loose

30. Condition: • [Missing](#)

Install the trim around the garage door frame. Cover the hole between the bottom east corner of the garage door frame and the foundation.

Implication(s): Chance of damage to finishes and structure

Location: South Basement Exterior Wall

Task: Repair

Time: Builder item

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



96. Missing



97. Missing



98. Missing



99. Missing

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



100. Missing

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Columns / Posts

31. Condition: • [Leaning](#)

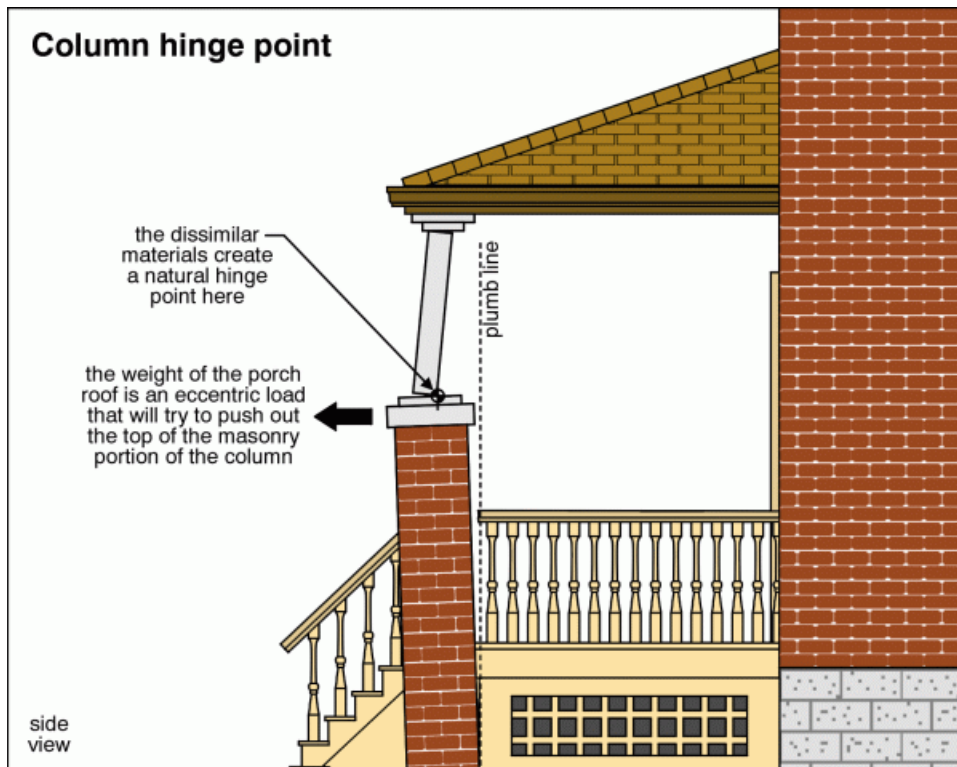
Repair the column at the southwest corner of the front porch installed out of plumb.

Implication(s): Chance of movement | Weakened structure

Location: South Exterior Porch

Task: Repair

Time: Builder item



EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



101. Leaning



102. Leaning

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

32. Condition: • Missing

Provide the missing step and handrail for the rear deck.

Location: North Exterior Deck

Task: Repair

Time: Builder item



103. Missing

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

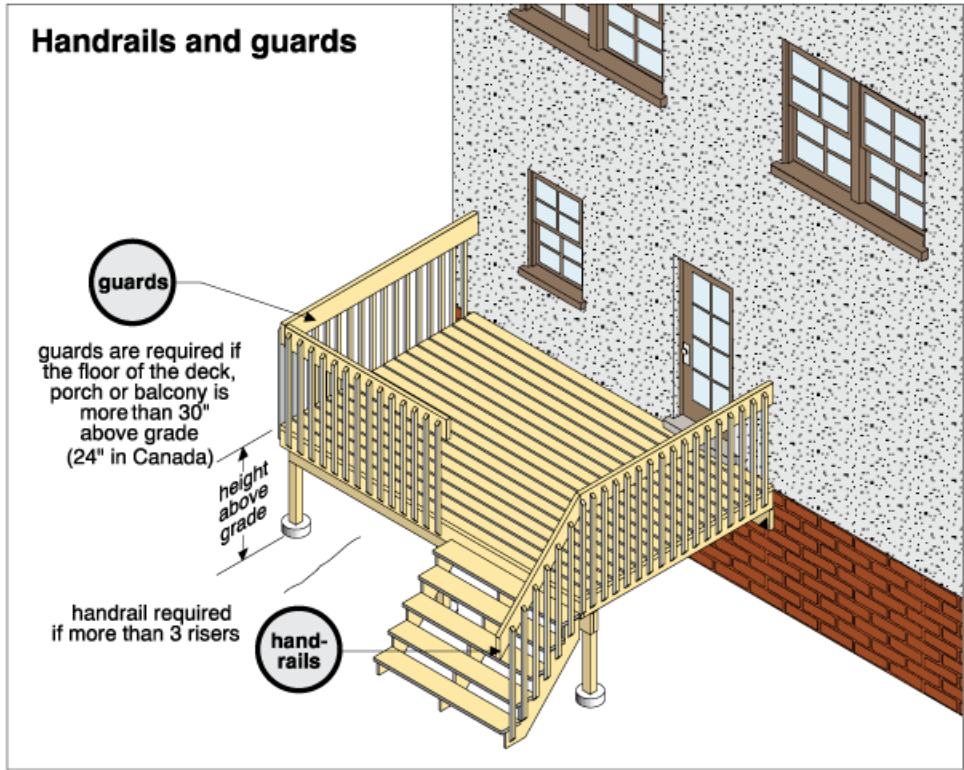
33. Condition: • [Missing](#)

Provide a handrail for the front porch if the concrete slab is over 23-5/8" above the finished grade.

Implication(s): Fall hazard

Location: South Exterior Porch

Task: Repair
Time: Builder item



104. Missing



105. Missing

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



106. Missing



107. Missing

LANDSCAPING \ Lot grading

34. Condition: • Landscaping incomplete

Remove the construction debris from around the house. Complete the grading around the house ensuring the ground slopes away from the house, and the foundation membrane is covered.

Location: Throughout Exterior Yard

Task: Repair

Time: Builder item



108. Landscaping incomplete



109. Landscaping incomplete

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



110. Landscaping incomplete



111. Landscaping incomplete



112. Landscaping incomplete



113. Landscaping incomplete

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



114. Landscaping incomplete



115. Landscaping incomplete



116. Landscaping incomplete

LANDSCAPING \ Walkway

35. Condition: • [Uneven \(trip hazard\)](#)

Repair the unevenness in the front walkway that is currently a trip hazard.

Implication(s): Physical injury

Location: South Exterior Yard

Task: Repair

Time: Builder item

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



117. Uneven (trip hazard)

LANDSCAPING \ Driveway

36. Condition: • Complete driveway

Complete the driveway at the front of the house. Ensure the driveway starts at the same level as the garage floor slab and maintains a positive slope away from the house.

Location: South Exterior Yard

Task: Repair

Time: Builder item



118. Complete driveway



119. Complete driveway

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



120. Complete driveway



121. Complete driveway

GARAGE \ Ceilings and walls

37. Condition: • Not gastight

Repair the damaged drywall on the west wall of the garage on the south side of the entry door to the house.

Implication(s): Hazardous combustion products entering home

Location: South First Floor Garage

Task: Repair

Time: Builder item



122. Not gastight



123. Not gastight

GARAGE \ Floor

38. Condition: • [Cracked](#)

Monitor the hairline shrinkage crack in the garage floor slab. The crack is not wide enough to insert a 1.5 mm allen key. If the width of the crack increases to 6 mm, they will need to be repaired.

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Implication(s): Uneven floors

Location: South First Floor Garage

Task: Monitor

Time: Ongoing



124. Cracked



125. Cracked



126. Cracked

GARAGE \ Door into garage from living space (man-door)

39. Condition: • [Does not close fully](#)

Adjust the garage door self-closing hinges on the door to the house from the garage. The door needs to close and latch fully when opened.

Implication(s): Hazardous combustion products entering home

Location: South First Floor Garage

Task: Repair

Time: Builder item

EXTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

- SUMMARY
- ROOFING
- EXTERIOR**
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR

REFERENCE



127. Does not close fully



128. Does not close fully

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Wood I-joists](#) • Steel columns • Steel beams (girders) • Laminated wood beams (girders) • Subfloor - OSB (Oriented Strand Board)

Exterior wall construction: • [Wood frame](#) • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • [Trusses](#) • [Oriented Strand Board \(OSB\) sheathing](#)

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • New finishes/paint • Insulation

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 100 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report

Recommendations / Observations

ROOF FRAMING \ Sheathing (roof/attic)

40. Condition: • Edge support for sheathing

The hole in the roof sheathing was cut too large and does not support the flexible plumbing stack flange.

Location: North Second Floor Roof

Task: Repair

Time: Builder item



129. Edge support for sheathing

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Service entrance cable and location: • [Underground - cable material not visible](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [125 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Not visible](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution panel rating: • [125 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - exterior](#) • [GFCI - kitchen](#) • AFCI - panel

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • Present

Limitations

Inspection limited/prevented by: • Storage • Insulation • AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner.

Panel covers: • Disconnect covers are not removed by the building inspector

System ground: • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Remote control devices • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms

Recommendations / Observations

SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

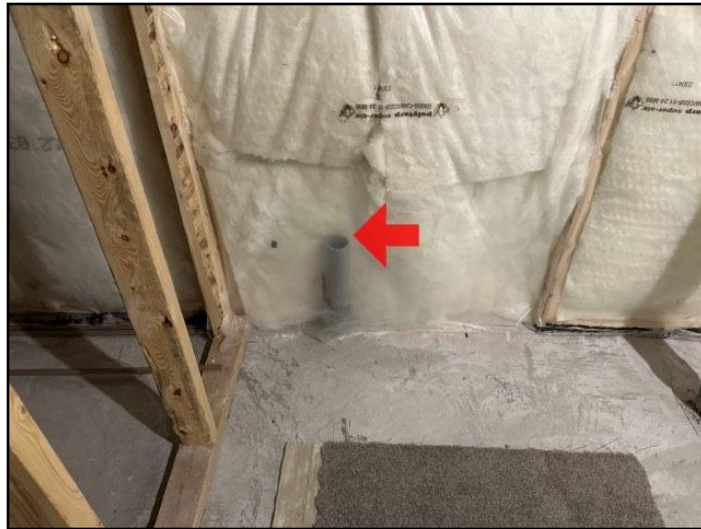
41. Condition: • Abandoned

Cap the abandoned hydro conduit below the electric panel.

Location: South Basement Storage Room

Task: Repair

Time: Builder item



130. Abandoned

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

42. Condition: • Circuit labelling

Repair the circuit labels that have been installed upside down and do not align with the breakers.

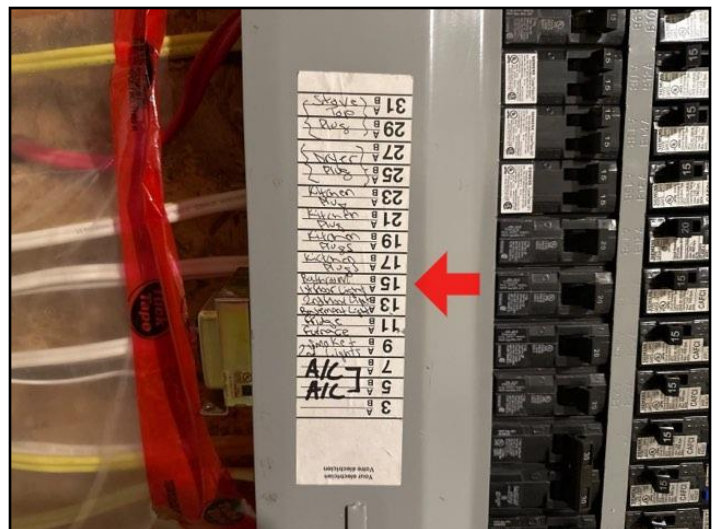
Location: South Basement Storage Room

Task: Repair

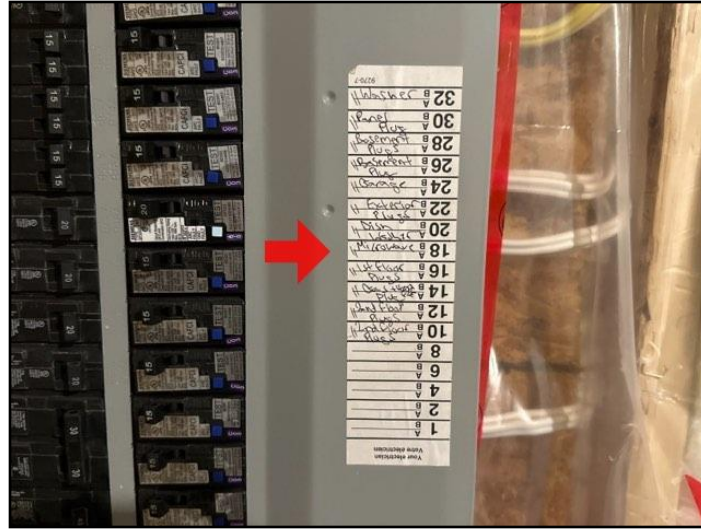
Time: Builder item



131. Circuit labelling



132. Circuit labelling



133. Circuit labelling

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

43. Condition: • [Not well secured](#)

Secure the loose and hanging wires on the ceiling of the basement furnace room.

Implication(s): Fire hazard | Electric shock

Location: East Basement Furnace Room

Task: Repair

Time: Builder item



134. Not well secured



135. Not well secured

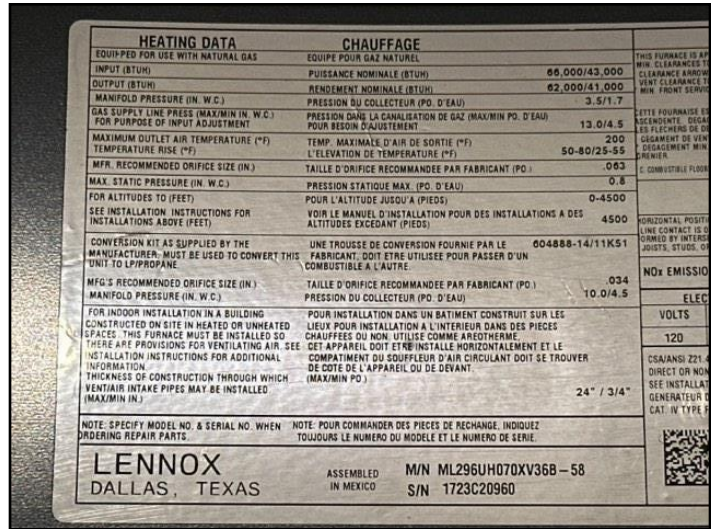
- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING**
- COOLING
- INSULATION
- PLUMBING
- INTERIOR

REFERENCE

Description

Heating system type:

- [Furnace](#)



136. Furnace

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [65,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Combustion air source: • Outside - sealed combustion

Approximate age: • [New](#)

Main fuel shut off at: • Meter

Failure probability: • [Low](#)

Fireplace/stove: • Service gas fireplace

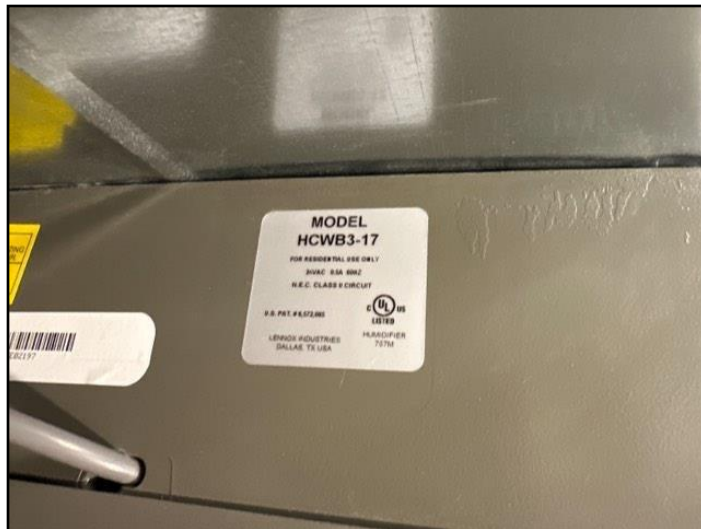
Chimney/vent: • Sidewall venting

Chimney liner: • [Metal](#)

Humidifier:

- [Trickle/cascade type](#)

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE



137. Trickle/cascade type

Mechanical ventilation system for building:

- Heat recovery ventilator (HRV)



138. Heat recovery ventilator (HRV)

Condensate system: • Discharges into drain pipe

Limitations

- Safety devices:** • Not tested as part of a building inspection
- Heat loss calculations:** • Not done as part of a building inspection
- Heat exchanger:** • Not visible
- Not included as part of a building inspection:** • Heat exchangers • Humidifiers and dehumidifiers • Heat/energy

recovery systems • Fireplace seals and gaskets

Recommendations / Observations

FURNACE \ Air filter

44. Condition: • [Dirty](#)

The furnace filter should be changed once a month. When changing, use 16" x 25" x 1" Merv 8 filters. The arrow on the filter should point toward the furnace.

Implication(s): Increased heating costs | Reduced comfort | Increased maintenance costs | Equipment ineffective

Location: East Basement Furnace Room

Task: Replace

Time: Monthly



139. Dirty

FURNACE \ General notes

45. Condition: • Service Furnace

The furnace should be serviced annually before the start of the heating season.

Location: East Basement Furnace Room

Task: Service

Time: Annually



140. Service Furnace

FURNACE \ Humidifier

46. Condition: • [Dirty](#)

The humidifier should be used when the furnace is operating. The humidifier filter should be changed in the spring after seasonal use.

Implication(s): Equipment not operating properly

Location: East Basement Furnace Room

Task: Clean

Time: Annually



141. Dirty

GAS FURNACE \ Venting system

47. Condition: • Clearance to grade

Ensure the furnace vents are 12" above the accumulative snow point after the grading is completed.

HEATING

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR

REFERENCE

Location: East First Floor Exterior Wall

Task: Repair

Time: Builder item



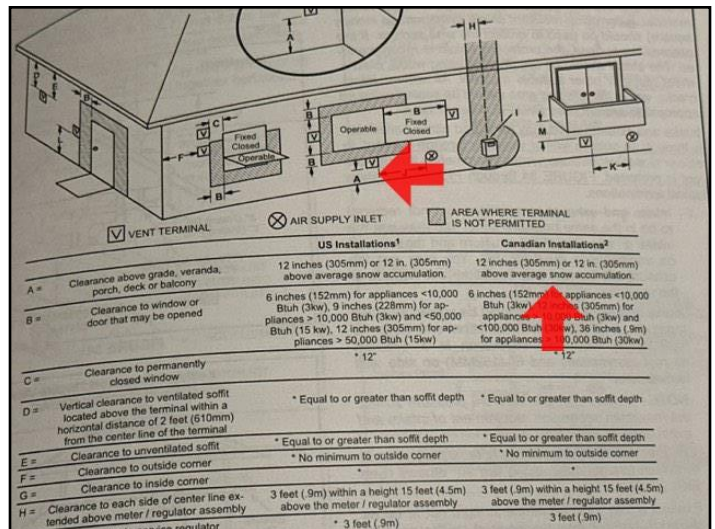
142. Clearance to grade



143. Clearance to grade



144. Clearance to grade



145. Clearance to grade

HEAT RECOVERY VENTILATOR \ General notes

48. Condition: • Dirt in cabinet

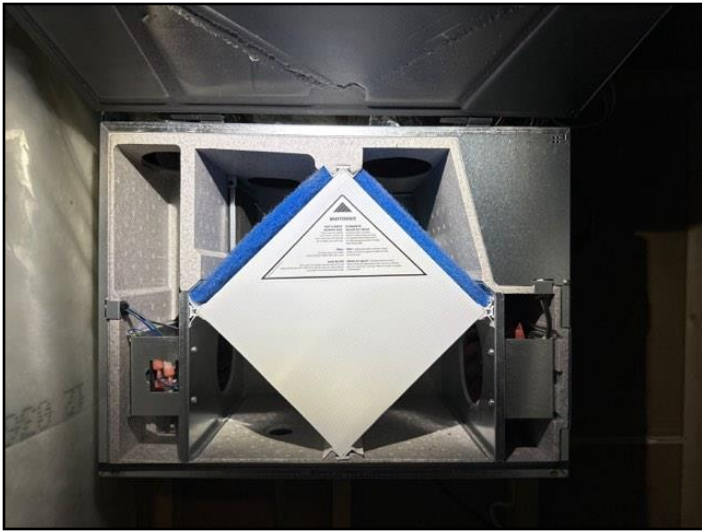
The HRV needs to be cleaned as per the manufacture specifications. The HRV should be used when the furnace is operating.

Implication(s): Equipment ineffective

Location: East Basement Furnace Room

Task: Clean

Time: As per the manufacturer's specifications



146. *Dirt in cabinet*



147. *Dirt in cabinet*



148. *Dirt in cabinet*

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING**
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE

Description

Air conditioning type:

- [Air cooled](#)



149. Air cooled

Cooling capacity: • [36,000 BTU/hr](#)

Compressor approximate age: • New

Failure probability: • [Low](#)

Limitations

Heat gain/loss calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

Not included as part of a building inspection: • Cooling system adequacy • Window cooling system

INSULATION AND VENTILATION

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • R-60

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof vent](#) • [Soffit vent](#)

Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • [R-20](#)

Wall air/vapor barrier: • Plastic

Foundation wall insulation material: • [Glass fiber](#)

Foundation wall insulation amount/value: • [R-12](#)

Foundation wall air/vapor barrier: • Plastic

Floor above porch/garage insulation material: • Not visible

Floor above porch/garage insulation amount/value: • Not visible

Floor above porch/garage air/vapor barrier: • Not visible

Limitations

Inspection limited/prevented by lack of access to: • Wall space • Floor space

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Not included as part of a building inspection: • Insulation cannot be disturbed

Recommendations / Observations

ATTIC/ROOF \ Insulation

49. Condition: • [Gaps or voids](#)

Repair the insulation void at the attic's front corner along the soffit baffles.

Implication(s): Reduced comfort | Increased heating and cooling costs

Location: Southwest Second Floor Attic

Task: Repair

Time: Builder item

INSULATION AND VENTILATION

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



150. Gaps or voids

50. Condition: • [Gaps or voids](#)

Repair the low insulation on the west side of the attic where the birds were entering due to the lack of an exterior soffit.

Implication(s): Reduced comfort | Increased heating and cooling costs

Location: West Second Floor Attic

Task: Repair

Time: Builder item



151. Gaps or voids

FOUNDATION \ Interior insulation

51. Condition: • [Loose, sagging or voids](#)

Repair the hole in the vapour barrier on the east wall of the furnace room beside the HRV unit.

Implication(s): Increased heating costs

Location: East Basement Furnace Room

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Task: Repair

Time: Builder item



152. *Loose, sagging or voids*

Description

Water supply source (based on observed evidence): • Public

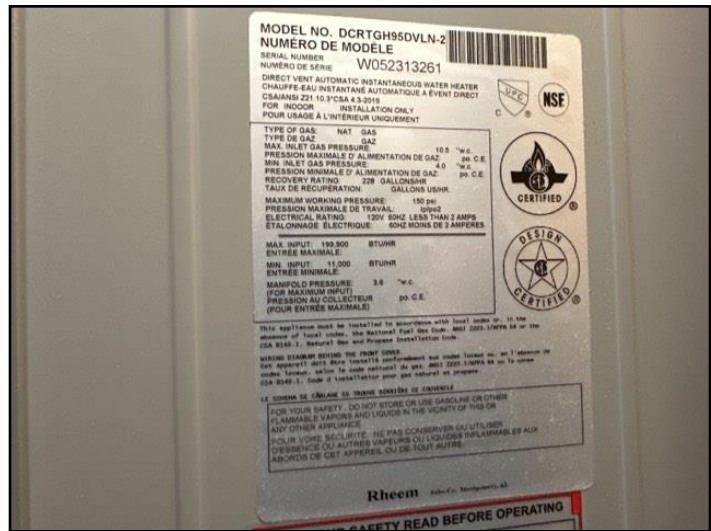
Service piping into building: • [Copper](#)

Supply piping in building: • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Front of the basement

Water heater type:

- Tankless/On demand



153. Tankless/On demand

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method: • Direct vent - sealed combustion

Water heater tank capacity: • Tank less system has no water storage.

Water heater approximate age: • New

Water heater failure probability: • [Low](#)

Hot water temperature (Generally accepted safe temp. is 120° F):

- 120° F



154. 120° F

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#)

Floor drain location: • Near heating system

Main gas shut off valve location: • Gas meter

Backwater valve: • Present

Exterior hose bibb (outdoor faucet): • Present

Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys

Recommendations / Observations

SUPPLY PLUMBING \ Water supply piping in building

52. Condition: • [Poor support](#)

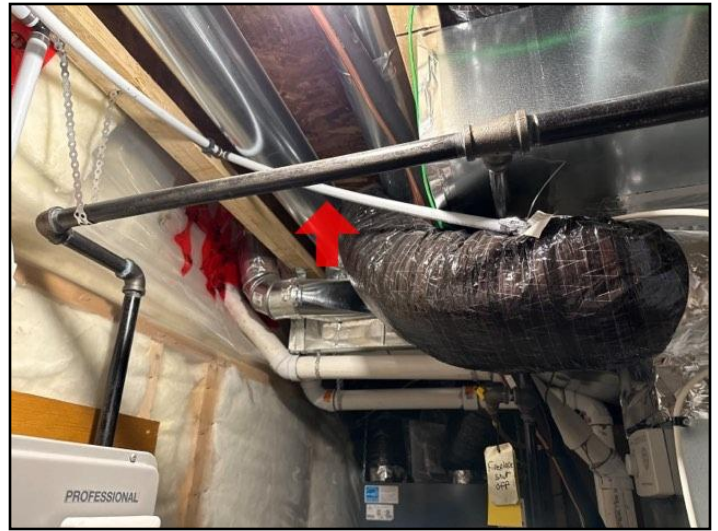
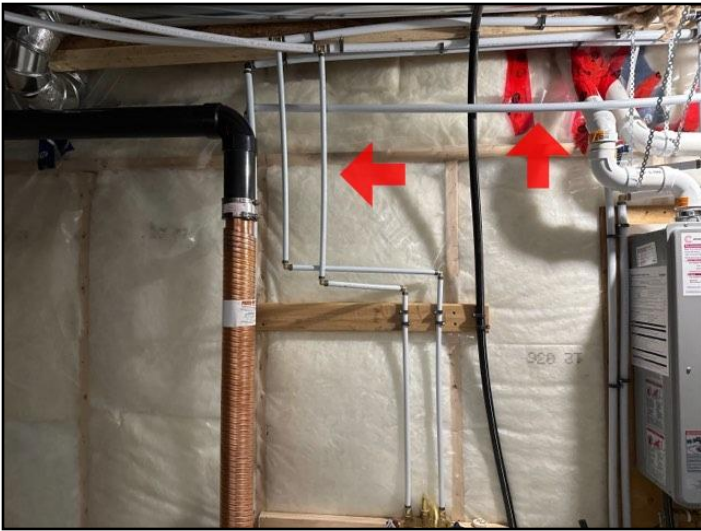
Secure the loose water supply lines above the basement utility sink and to the humidifier.

Implication(s): Leakage | Chance of water damage to structure, finishes and contents

Location: East Basement Furnace Room

Task: Repair

Time: Builder item



155. Poor support

156. Poor support

WATER HEATER - GAS BURNER AND VENTING \ Venting system

53. Condition: • Clearance to grade

Ensure the water heater vent is 12" above the accumulative snow point after the grading is completed.

Location: East First Floor Exterior Wall

Task: Repair

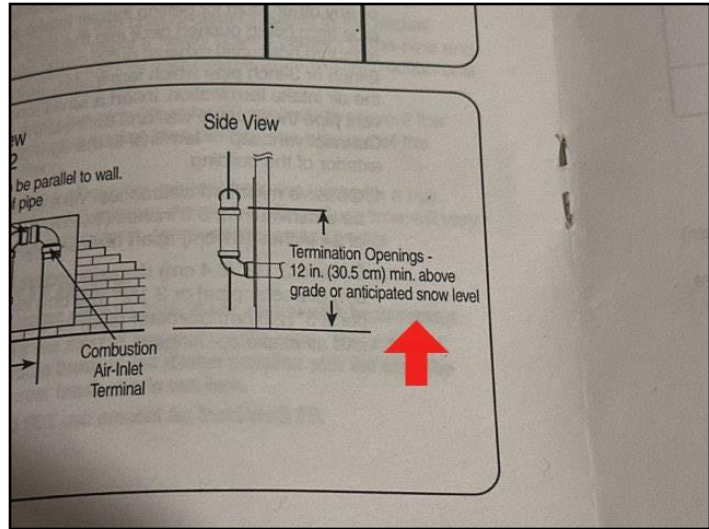
Time: Builder item



157. Clearance to grade

158. Clearance to grade

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									



159. Clearance to grade

WASTE PLUMBING \ Drain piping - installation

54. Condition: • [Poor support](#)

Secure the loose plumbing stack at the in-line heat exchanger.

Implication(s): Sewage entering the building | Chance of water damage to structure, finishes and contents

Location: East Basement Furnace Room

Task: Repair

Time: Builder item



160. Poor support

WASTE PLUMBING \ Drain piping - performance

55. Condition: • [Cross connections](#)

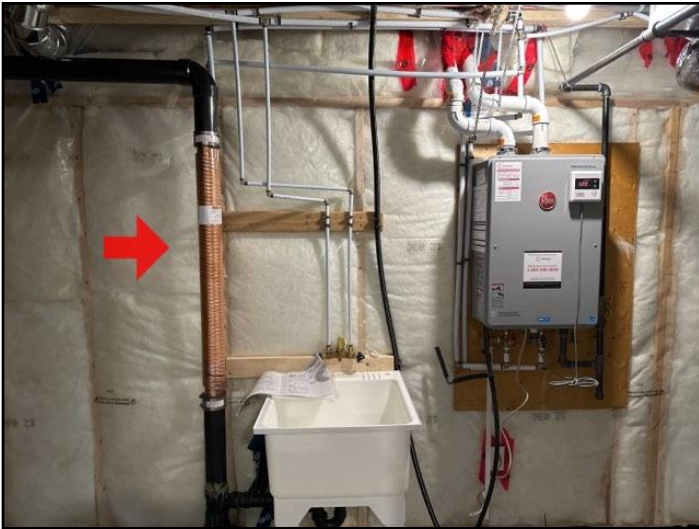
Repair the water supply lines to the plumbing stack heat exchanger. The inlet line goes to the cold water supply to the water heater, and the outlet connects to the house's cold water lines.

Implication(s): Contaminated drinking water

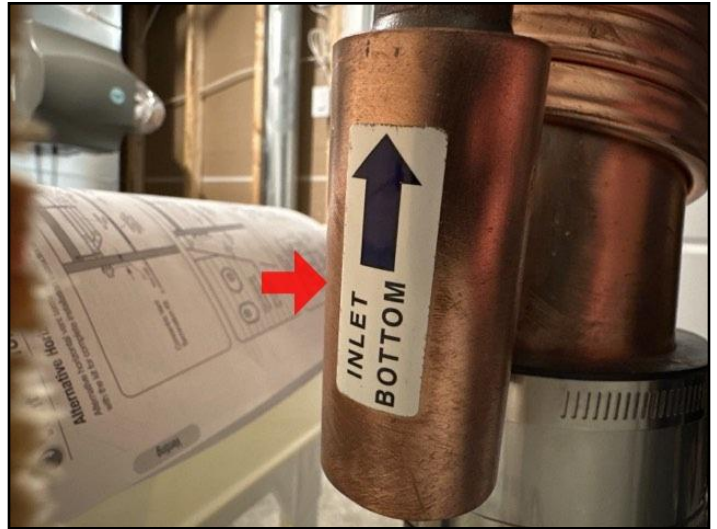
Location: East Basement Furnace Room

Task: Repair

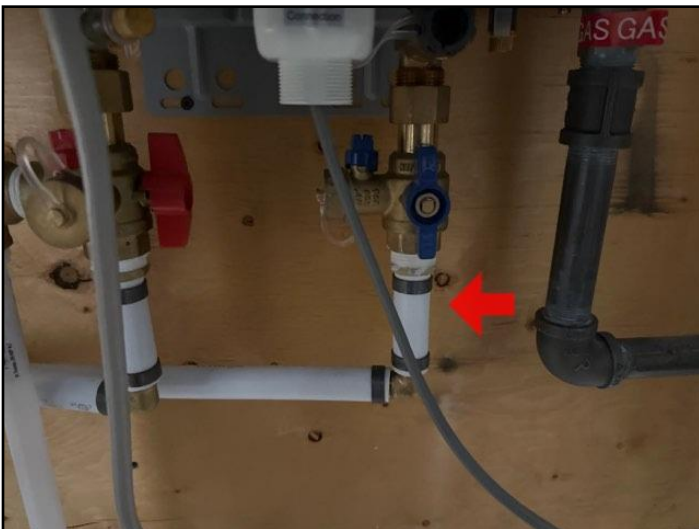
Time: Builder item



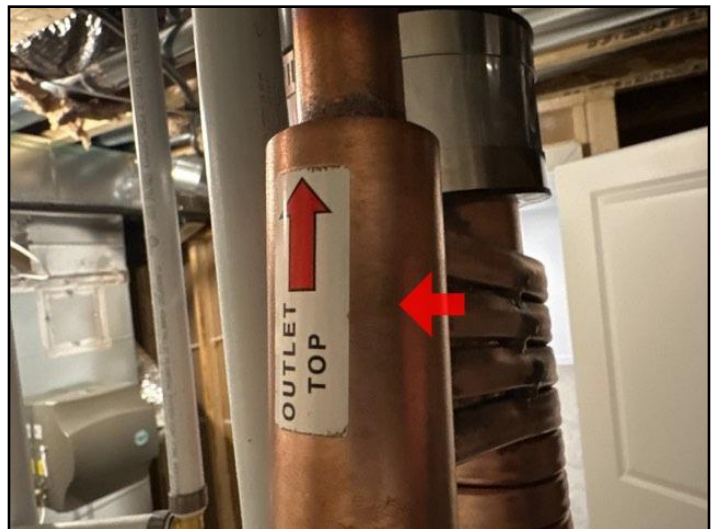
161. Cross connections



162. Cross connections



163. Cross connections



164. Cross connections



165. Cross connections

56. Condition: • [Dishwasher drain connections](#)

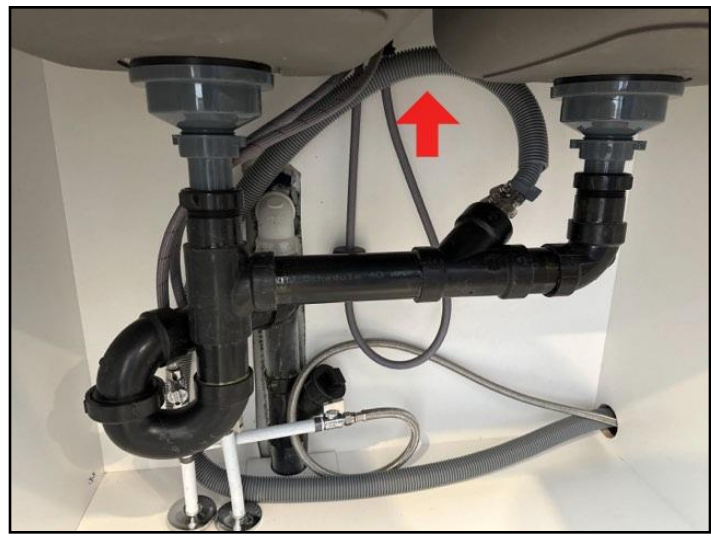
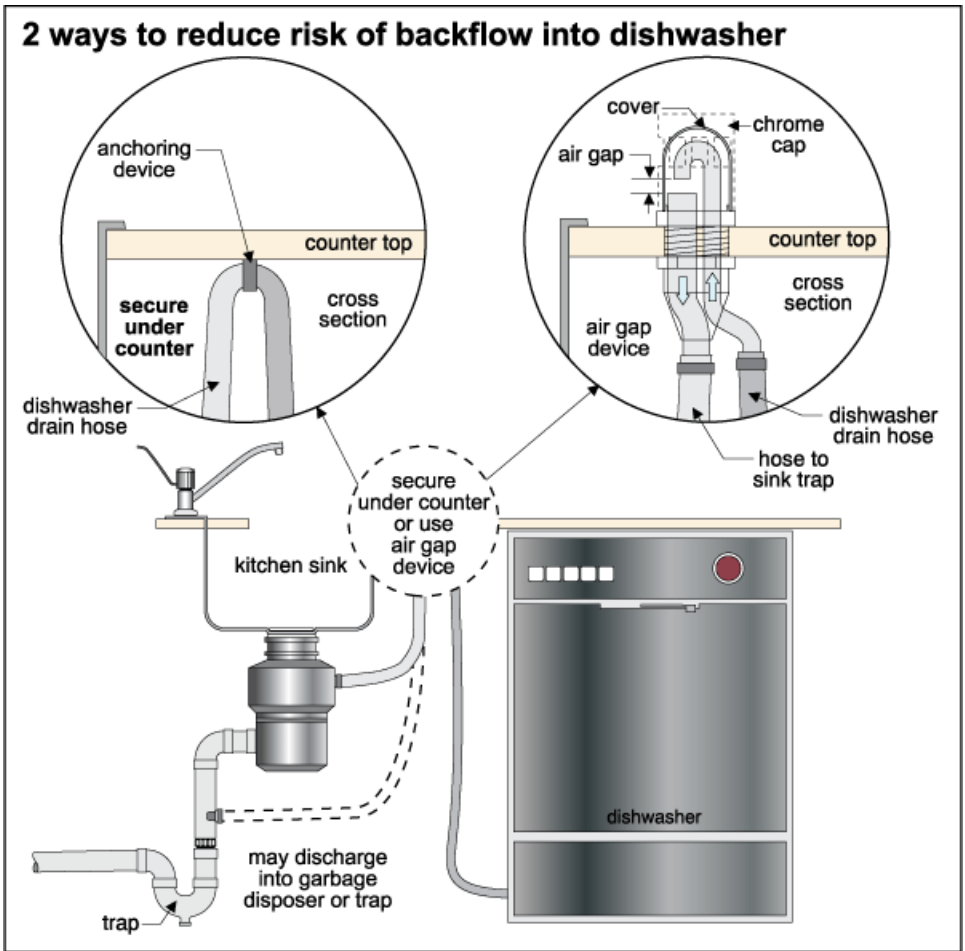
Improve the dishwasher discharge line below the kitchen sink. The discharge line should go to the underside of the counter top before connecting to the sink drain.

Implication(s): Chance of water damage to structure, finishes and contents

Location: North First Floor Kitchen

Task: Repair

Time: At this time



166. Dishwasher drain connections

WASTE PLUMBING \ Venting system

57. Condition: • [Vent termination problems](#)

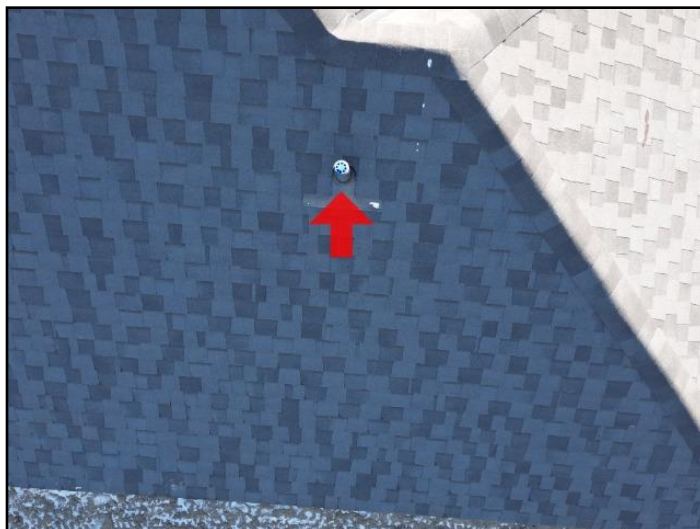
Remove the test cap from the plumbing vent stack on the second-floor roof.

Implication(s): Sewer gases entering the building | Reduced operability

Location: North Second Floor Roof

Task: Repair

Time: Builder item



167. Vent termination problems

FIXTURES AND FAUCETS \ Faucet

58. **Condition:** • [Drip, leak](#)

Repair the leak from the ensuite bathroom shower stall head.

Implication(s): Chance of water damage to structure, finishes and contents

Location: North Second Floor Ensuite Bathroom

Task: Repair

Time: Builder item



168. Drip, leak

59. Condition: • [Hot and cold reversed](#)

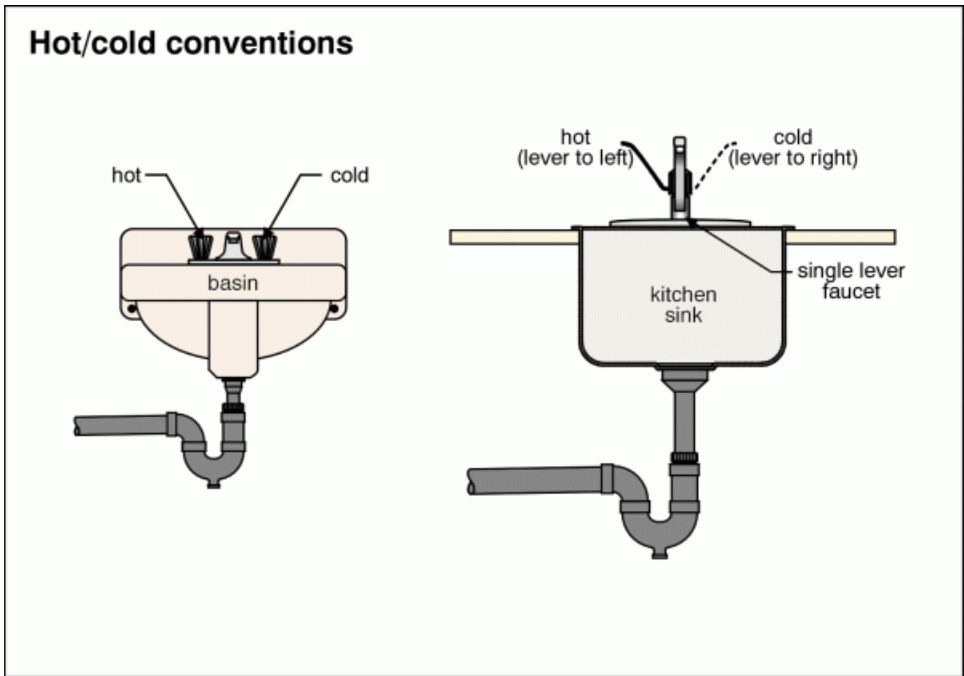
Repair the water connections to the soaker tub faucet. Hot water comes from the faucet when you initially turn it on, not cold.

Implication(s): Scalding

Location: North Second Floor Ensuite Bathroom

Task: Repair

Time: Builder item



169. Hot and cold reversed

60. Condition: • [Loose](#)

Repair the loose faucet in the main bathroom room bathtub enclosure.

Implication(s): Equipment failure

Location: East Second Floor Bathroom

Task: Repair

Time: Builder item



170. Loose

FIXTURES AND FAUCETS \ Bathtub

61. Condition: • [Loose or unstable](#)

Secure the top of the soaker tub in the ensuite bathroom.

Implication(s): Chance of water damage to structure, finishes and contents

Location: North Second Floor Ensuite Bathroom

Task: Repair

Time: Builder item



171. Loose or unstable

Description

Major floor finishes: • [Carpet](#) • Engineered wood • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Sliders](#) • [Casement](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • [Sliding glass](#) • [Metal](#) • Garage door - metal

Kitchen ventilation: • Range hood • Discharges to exterior

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations

Inspection limited/prevented by: • Carpet • New finishes/paint

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum
Appliances • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes •
Vermin, including wood destroying organisms. • Window coatings and seals between panes of glass

Cosmetics: • No comment offered on cosmetic finishes

Recommendations / Observations

CEILINGS \ General notes

62. Condition: • Damage

Repair the damaged drywall at the pot light in the first floor hallway.

Implication(s): Damage or physical injury due to falling materials

Location: Middle First Floor Hallway

Task: Repair

Time: Builder item

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR**
- REFERENCE



172. Damage



173. Damage

FLOORS \ Ceramic tile, stone, marble, etc

63. Condition: • [Tiles broken](#)

Repair the hole in the tile below the toilet in the ensuite bathroom that is not covered by the water line flange.

Implication(s): Trip or fall hazard

Location: North Second Floor Ensuite Bathroom

Task: Repair

Time: Builder item



174. Tiles broken

WINDOWS \ General notes

64. Condition: • Difficult to operate

Repair the rear basement family room windows. There is only 6.0 mm of clearance between the window flange and the trim on the west window, and there is only 2.5 mm of clearance between the window flange and the trim on the east window. There is insufficient room to grab the flange and push the window open.

INTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Implication(s): System inoperative or difficult to operate

Location: North Basement Family Room

Task: Repair

Time: Builder item



175. Difficult to operate



176. Difficult to operate



177. Difficult to operate



178. Difficult to operate

WINDOWS \ Glass (glazing)

65. Condition: • [Cracked](#)

Replace the cracked glass on the west side of the rear basement window on the west end of the north exterior wall.

Implication(s): Physical injury

Location: North Basement Family Room

Task: Repair

Time: Builder item

INTERIOR

1 INSPECTION WAY, Kanata, ON November 25, 2023

Report No. 3559, v.2

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



179. Cracked



180. Cracked

DOORS \ General notes

66. Condition: • Damage

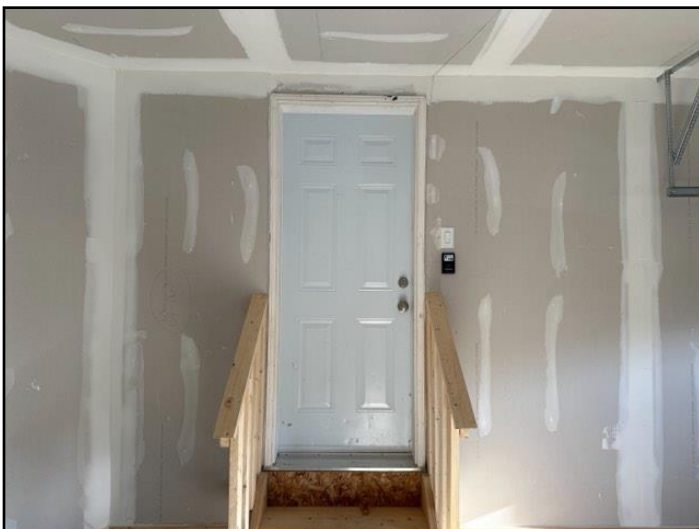
Repair the dents and remove the adhesive and paint from the door and frame at the entrance to the house from the garage.

Implication(s): Increased heating and cooling costs | Reduced comfort | Shortened life expectancy of material

Location: South First Floor Garage

Task: Repair

Time: Builder item



181. Damage



182. Damage

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									



183. Damage

DOORS \ Doors and frames

67. Condition: • [Damage](#)

Repair the screw hole in the patio door track where the wood block has been installed.

Implication(s): Increased heating and cooling costs | Reduced comfort | Material deterioration

Location: North First Floor Kitchen

Task: Repair

Time: Builder item



184. Damage



185. Damage

68. Condition: • [Weatherstripping missing or ineffective](#)

Repair the front door that does not seal to the weatherstripping at the top west corner.

Implication(s): Increased heating and cooling costs | Reduced comfort | Chance of water entering building

Location: South First Floor Entrance

Task: Repair

Time: Builder item



186. Weatherstripping missing or ineffective



187. Weatherstripping missing or ineffective

EXHAUST FANS \ General notes

69. Condition: • Does not discharge to exterior

Repair the ensuite bathroom exhaust fan that does not vent to the exterior of the house.

Implication(s): Chance of condensation damage to finishes and/or structure | Poor ventilation can cause condensation.

Location: North Second Floor Ensuite Bathroom

Task: Repair

Time: Builder item



188. Does not discharge to exterior



189. Does not discharge to exterior

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									



190. Does not discharge to exterior

APPLIANCES \ Dryer

70. Condition: • Clean dryer vent
The dryer vent needs to be cleaned regularly.
Location: West Second Floor Soffit
Task: Clean
Time: Regular maintenance



191. Clean dryer vent

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS