



# YOUR INSPECTION REPORT

*The best home inspection experience available.*

PREPARED BY:

Mark Bowditch



FOR THE PROPERTY AT:

1 INSPECTION WAY  
Arnprior, ON K7S 1X7

PREPARED FOR:

ACCURATE BUILDING INSPECTIONS

INSPECTION DATE:

Friday, July 14, 2023



**ACCURATE  
BUILDING INSPECTIONS**

Accurate Building Inspections Inc.

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# SUMMARY

1 INSPECTION WAY, Arnprior, ON July 14, 2023

Report No. 3412, v.2

[www.abinspections.ca](http://www.abinspections.ca)

SUMMARY

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The Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The deficiencies listed below, and the components related to these, should be further evaluated and repaired by a licensed contractor or professional. This allows a specialist to fully evaluate the system and components, and identify issues beyond our scope of work.

There are some important things you should do when taking possession of a building. These are detailed in the Priority Maintenance document, which you can access by clicking on the link below.

No building is perfect, and we will have improvements to recommend in virtually every building. Many clients are interested in knowing how their building stacks up to other buildings of a similar age and type. The rating scale below provides some insight into that.

*	Additions	Original House
[ ] [ ] [ X ]	[ ] [ ] [ X ]	[ ] [ ] [ ] [ ]
BELOW AVERAGE	TYPICAL	ABOVE AVERAGE

The rear additions are poorly constructed and require major structural repairs. The original house is in good overall condition for its age.

[Priority Maintenance Items](#)

## Roofing

### **FLAT ROOFING \ Built-up**

**Condition:** • [Ponding](#)

Remove the gravel from the rear first floor addition flat roof and correct the water ponding throughout the roof.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** South First Floor Addition Roof

**Task:** Repair

**Time:** Less than 2 years

## Exterior

### **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes**

**Condition:** • Poorly built

The stone base of the front porch is poorly built and is settling. The base of the porch and steps should be budgeted for replacement within 2 years.

**Implication(s):** Weakened structure

**Location:** North Exterior Porch

**Task:** Repair

**Time:** Less than 2 years

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## LANDSCAPING \ Patios

**Condition:** • Uneven (trip hazard)

The complete rear patio needs to be repaired to correct the unevenness in the surface, which is currently a trip hazard.

**Implication(s):** Physical injury

**Location:** South Exterior Yard

**Task:** Improve/correct

**Time:** Less than 1 year

## Structure

### FOUNDATIONS \ General notes

**Condition:** • [Settled](#)

Further evaluation required of the major settlement visible in the concrete block foundation of the additions to determine the cause, scope of work and the cost to repair the issue. There is shifting noted on the first and second floors of the additions.

**Implication(s):** Chance of structural movement

**Location:** South Addition Foundations

**Task:** Further evaluation by a structural contractor

**Time:** At this time

**Condition:** • [Spalling, crumbling or broken material](#)

Repair the spalling of the addition that is visible on the east side of the house. The foundation should be evaluated when the rear and side addition block foundations are being inspected.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Middle Addition Foundation

**Task:** Further evaluation by a foundation contractor

**Time:** At this time

### FOUNDATIONS \ Beams (Girders)

**Condition:** • [Notches or holes](#)

The main wood beam in the basement was recycled from another property. The beam has several indents and large notches. Provide structural support below indents and notches.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Middle Basement Beam

**Task:** Repair

**Time:** Less than 1 year

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## Heating

### **CHIMNEY AND VENT \ Masonry chimney**

**Condition:** • [Loose, missing or deteriorated masonry](#)

The abandoned boiler and fireplace chimneys are crumbling, leaning, and falling apart. The chimneys should be removed or rebuilt.

**Implication(s):** Material deterioration

**Location:** East Exterior Chimneys

**Task:** Remove Rebuild

**Time:** Less than 2 years

## Plumbing

### **WATER HEATER \ Life expectancy**

**Condition:** • [Near end of life expectancy](#)

The water heater should be budgeted for replacement due to the age of the unit. The average life span of an on demand water heater is 13-17 years.

**Implication(s):** No hot water

**Location:** East Basement

**Task:** Replace

**Time:** As required

### **WASTE PLUMBING \ Drain piping - performance**

**Condition:** • Old piping

Cast iron waste plumbing piping was used regularly in residential construction into the late 1960s. The typical life span of cast iron is approximately 50 years. Some insurance companies are requiring it to be scoped. It is recommended that you contact your insurance provider and request their policy on cast iron waste plumbing pipes. It is recommended that you have the cast iron drains scoped at this time.

**Location:** Throughout Original House

**Task:** Request disclosure from insurance provider

**Time:** At this time

## Interior

### **BASEMENT \ Wet basement - evidence**

**Condition:** • [Stains](#)

There are signs of regular flooding in the basement. The basement should not be used for storage. The steel posts will need to be checked regularly for rust and required replacement. The basement will need constant airflow and a dehumidifier to remove some of the dampness. It is common to have water problems in a basement with a stone foundation.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Throughout Basement

This concludes the Summary section.



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The remainder of the report describes each of the building systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase building inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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## Description

**The home is considered to face:** • North

**Sloped roofing material:** • [Metal](#) • Synthetic rubber

**Sloped roof flashing material:** • Aluminum

**Flat roofing material:**

• [Built-up membrane](#)

• No access

Third floor

**Flat roof flashing material:** • Metal

## Limitations

**Inspection limited/prevented by:** • Lack of access (too high/steep) • Gravel covering membrane • Standing water

**Inspection performed:** • By walking on roof • From the ground

**Not included as part of a building inspection:** • Not readily accessible interiors of vent systems, flues, and chimneys

## Recommendations / Observations

### SLOPED ROOF FLASHINGS \ Valley flashings

**1. Condition:** • Valley flashing lifting

Repair the lifting valley flashing at the transition between the rear third floor roof and the second floor low slope roof.

**Location:** South Second Floor Roof

**Task:** Repair

**Time:** Before next winter



1. Valley flashing lifting

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## SLOPED ROOF FLASHINGS \ Chimney flashings

### 2. Condition: • [Not let into mortar joints](#)

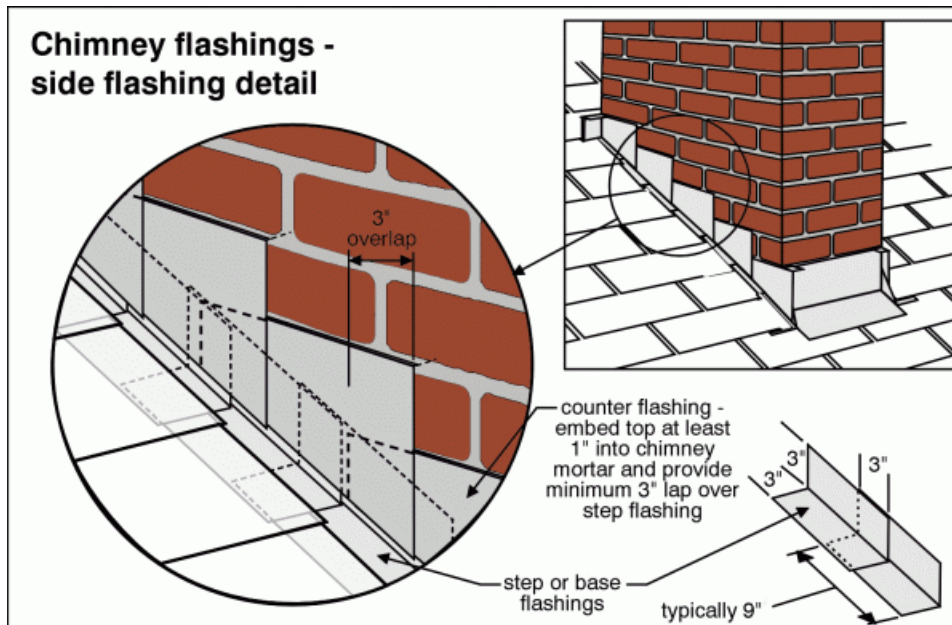
The flashing for the abandoned boiler and fireplace chimneys should be stepped with the brick and let into the mortar joints.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** East Second Floor Roof

**Task:** Repair

**Time:** As soon as practical



2. Not let into mortar joints

## SLOPED ROOF FLASHINGS \ Roof/wall flashings

### 3. Condition: • [Not let into mortar joints](#)

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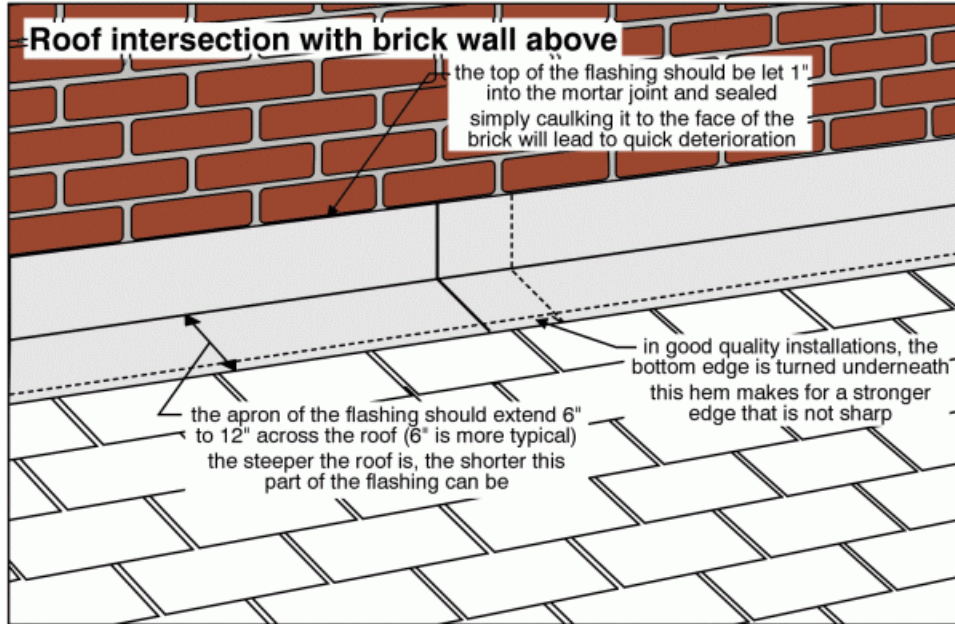
The flashing for the front porch should be stepped with the brick and let into the mortar joints.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** North Porch Roof

**Task:** Repair

**Time:** As soon as practical





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5. Not let into mortar joints



6. Not let into mortar joints

## SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

### 4. Condition: • [Kickout flashing - missing](#)

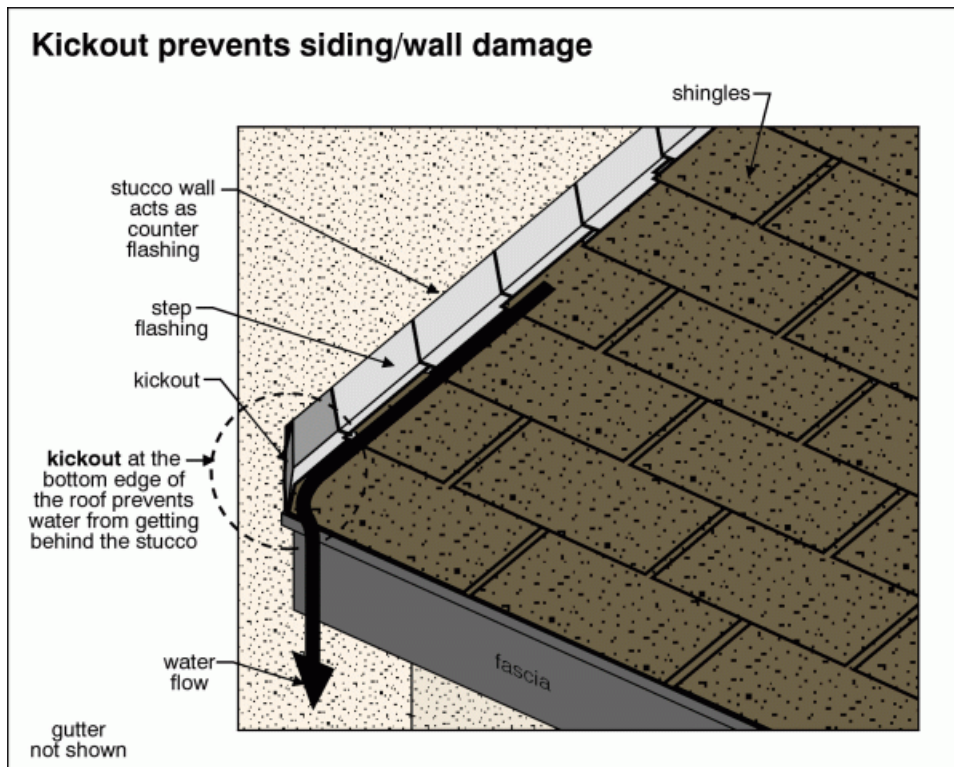
Provide the missing kick-out flashing at the base of wall flashing on the sides of the abandoned boiler chimney.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** East Second Floor Roof

**Task:** Provide

**Time:** As required



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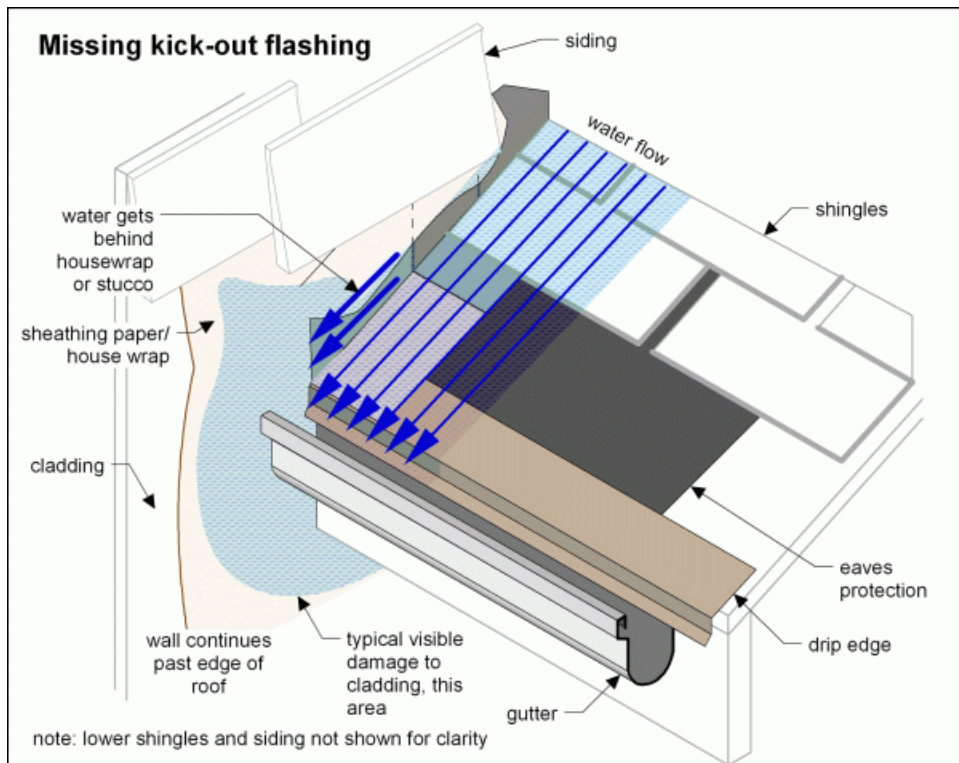
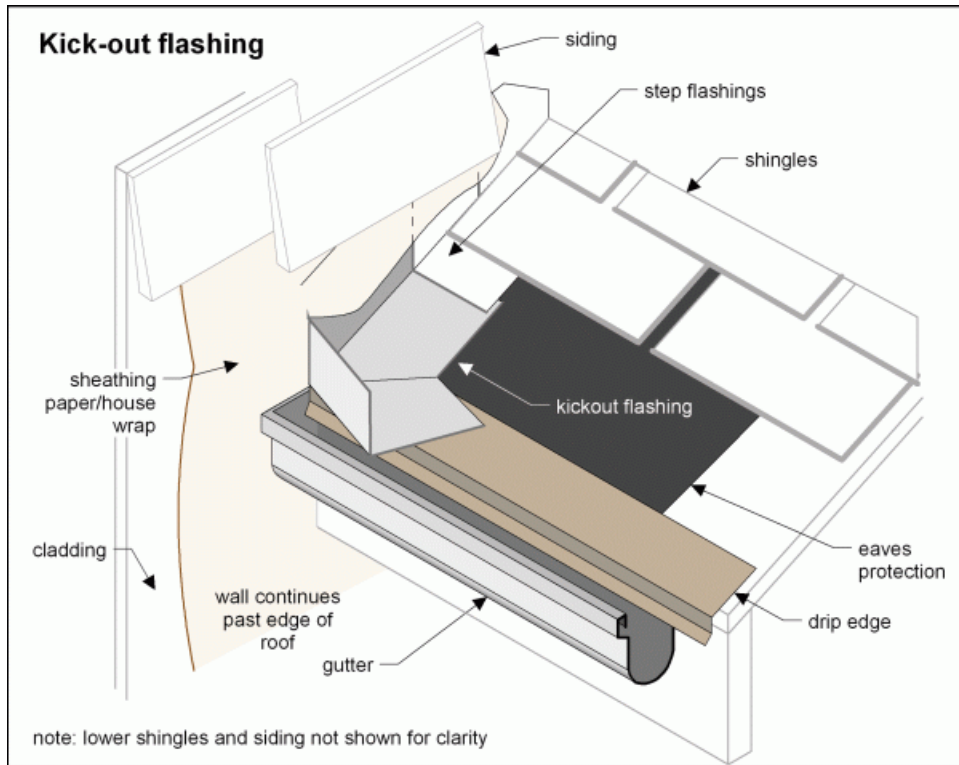
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7. Kickout flashing - missing

8. Kickout flashing - missing

## FLAT ROOFING \ Built-up

### 5. Condition: • [Ponding](#)

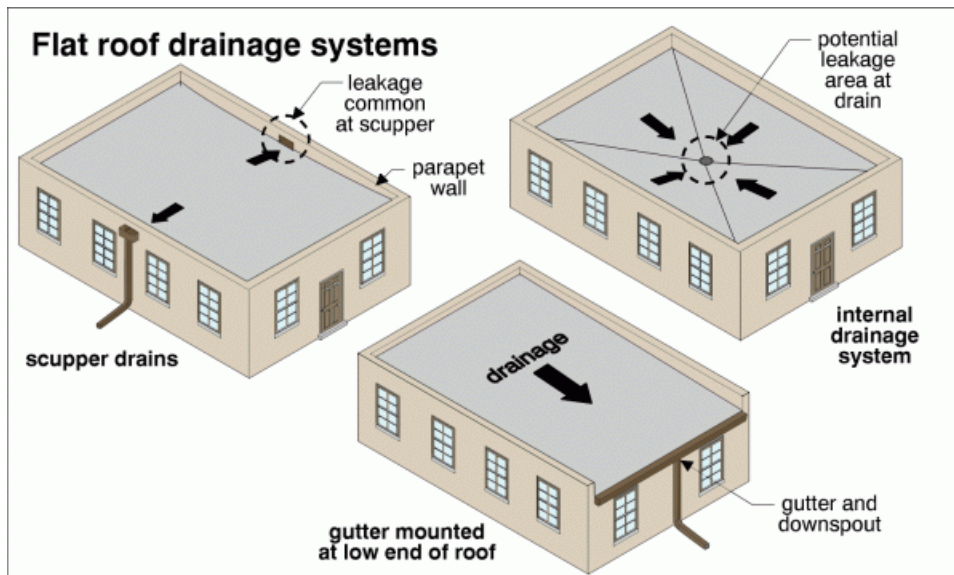
Remove the gravel from the rear first floor addition flat roof and correct the water ponding throughout the roof.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** South First Floor Addition Roof

**Task:** Repair

**Time:** Less than 2 years

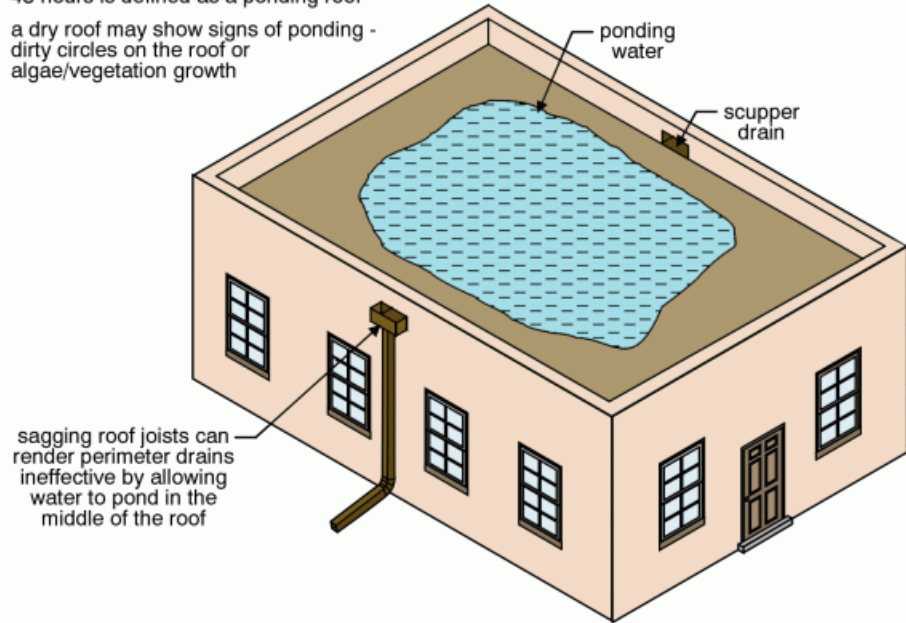


SUMMARY	<b>ROOFING</b>	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Ponding on flat roofs

any roof that still has water on it after 48 hours is defined as a ponding roof

a dry roof may show signs of ponding - dirty circles on the roof or algae/vegetation growth



9. Ponding



10. Ponding



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11. *Ponding*



12. *Ponding*



13. *Ponding*

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## Description

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout type:** • [Eave mounted](#)

**Downspout discharge:** • [Above grade](#)

**Lot slope:** • [Towards building](#)

**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Aluminum](#)

**Wall surfaces and trim:** • [Vinyl siding](#)

**Wall surfaces - masonry:** • [Brick](#)

**Driveway:** • Asphalt

**Walkway:** • Flagstone

**Deck:** • Raised • Ground level • Wood

**Porch:** • Wood • Flagstone • Stone • Metal

**Exterior steps:** • Concrete • Wood

**Patio:** • Interlocking brick

**Garage:** • Attached

## Limitations

**Inspection limited/prevented by:** • New finishes/paint/trim • Storage in garage • Vines/shrubs/trees against wall

**No or limited access to:** • Area below steps, deck, porches

**Exterior inspected from:** • Ground level

**Not included as part of a building inspection:** • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Outbuildings other than garages and carports

## Recommendations / Observations

### ROOF DRAINAGE \ Gutters

**6. Condition:** • [Leak](#)

Repair the leak from the second floor eavestrough at the rear corner of the second floor addition.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Southeast Second Floor Roof

**Task:** Repair

**Time:** Before next winter

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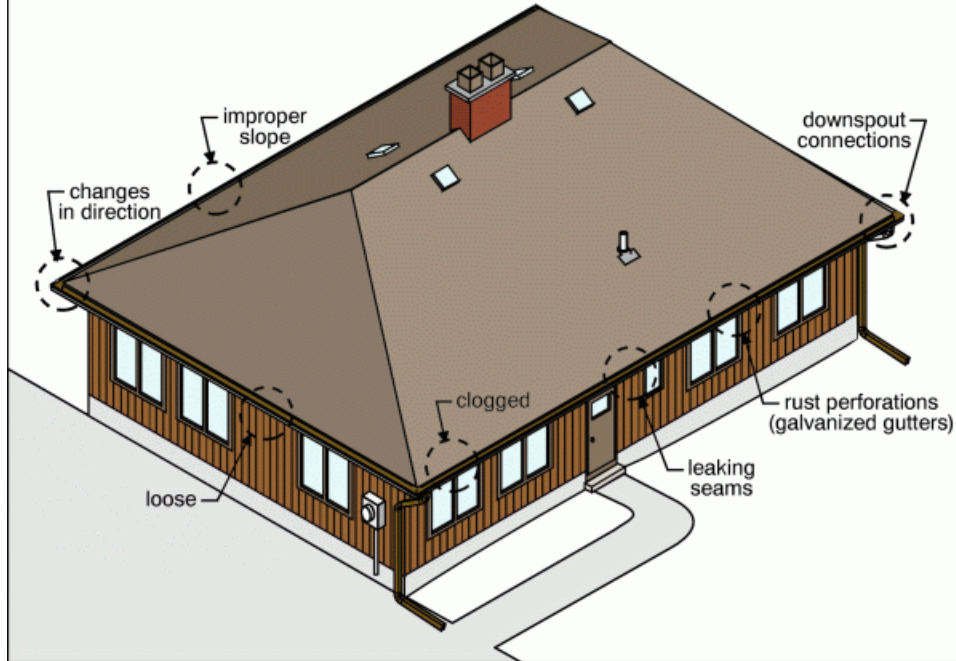
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## Gutters - common reasons for leakage



14. Leak

### ROOF DRAINAGE \ Downspouts

7. **Condition:** • [Should discharge 6 feet from building](#)

The downspouts should discharge a minimum of 6 feet from the foundation walls of the house and porch. This can be a contributing factor to basement moisture issues.

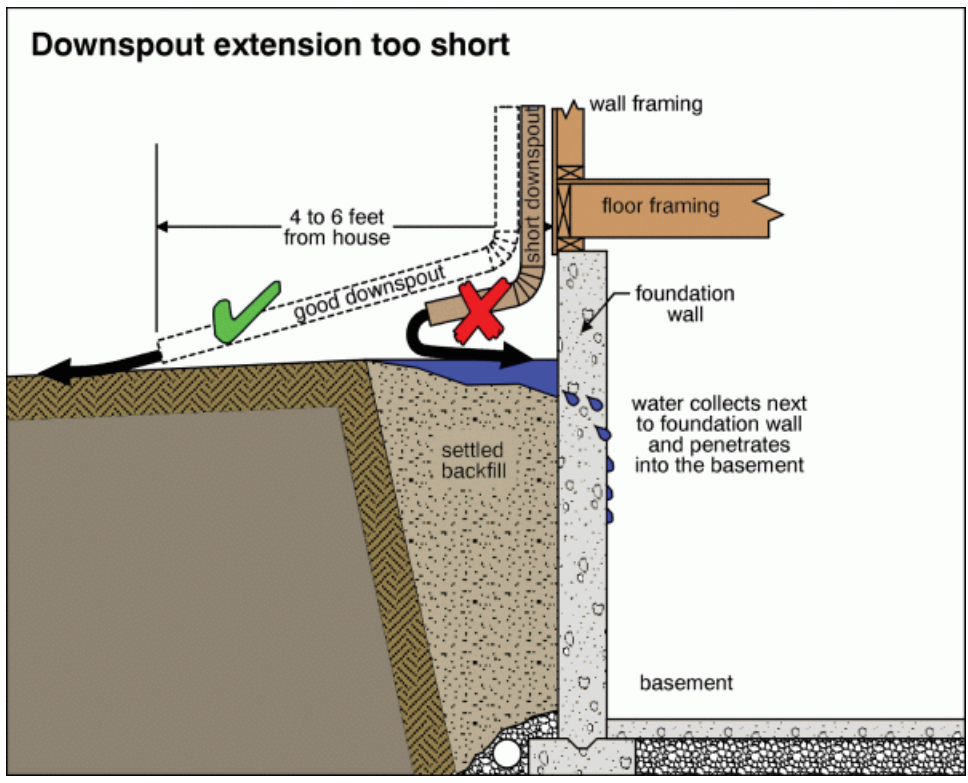
**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Throughout Exterior Yard



SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Task:** Improve  
**Time:** Before next winter



15. Should discharge 6 feet from building



16. Should discharge 6 feet from building



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17. Should discharge 6 feet from building



18. Should discharge 6 feet from building

## WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

### 8. Condition: • [Loose or missing pieces](#)

Repair the leak from the rear flat roof at the transition from the first floor addition to the second floor addition.

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of pests entering building

**Location:** East First Floor Roof

**Task:** Repair

**Time:** Before next winter



19. Loose or missing pieces

## WALLS \ Flashings and caulking

### 9. Condition: • [Caulking missing or ineffective](#)

Provide the missing caulking on the exterior of the house at the transition between materials.

**Implication(s):** Chance of water damage to structure, finishes and contents

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**Location:** Various Exterior Wall

**Task:** Provide

**Time:** As soon as practical



20. Caulking missing or ineffective



21. Caulking missing or ineffective



22. Caulking missing or ineffective



23. Caulking missing or ineffective



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24. Caulking missing or ineffective



25. Caulking missing or ineffective



26. Caulking missing or ineffective



27. Caulking missing or ineffective



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28. Caulking missing or ineffective



29. Caulking missing or ineffective



30. Caulking missing or ineffective



31. Caulking missing or ineffective



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32. Caulking missing or ineffective



33. Caulking missing or ineffective



34. Caulking missing or ineffective



35. Caulking missing or ineffective



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36. Caulking missing or ineffective

## WALLS \ Vinyl siding

10. Condition: • [Mechanical damage](#)

There is no visible flashing behind the on site constructed siding corner trim.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** North First Floor Exterior Wall

**Task:** Repair

**Time:** As soon as practical



37. Mechanical damage

11. Condition: • [Mechanical damage](#)

Repair the damaged siding at the bottom corner of the addition at the driveway.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West First Floor Exterior Wall

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**Task:** Repair

**Time:** As required



38. Mechanical damage

**12. Condition:** • [Buckled or wavy](#)

The BBQ can not be placed to close to the vinyl siding.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** South First Floor Exterior Wall

**Task:** Repair

**Time:** As required



39. Buckled or wavy

**13. Condition:** • [Loose or missing pieces](#)

Provide the missing "J" trim around the gas fireplace vent at the transition to the vinyl siding.

**Implication(s):** Chance of water damage to structure, finishes and contents



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**Location:** West First Floor Exterior Wall

**Task:** Improve/correct

**Time:** As soon as practical



40. Loose or missing pieces



41. Loose or missing pieces

## WALLS \ Masonry (brick, stone) and concrete

14. Condition: • [Cracked](#)

Repair the cracked concrete window sill on the side of the house below the kitchen window.

**Implication(s):** Chance of water entering building | Weakened structure | Chance of movement

**Location:** West First Floor Exterior Wall

**Task:** Repair

**Time:** As soon as practical



42. Cracked

## EXTERIOR GLASS/WINDOWS \ Window wells

15. Condition: • [Missing](#)

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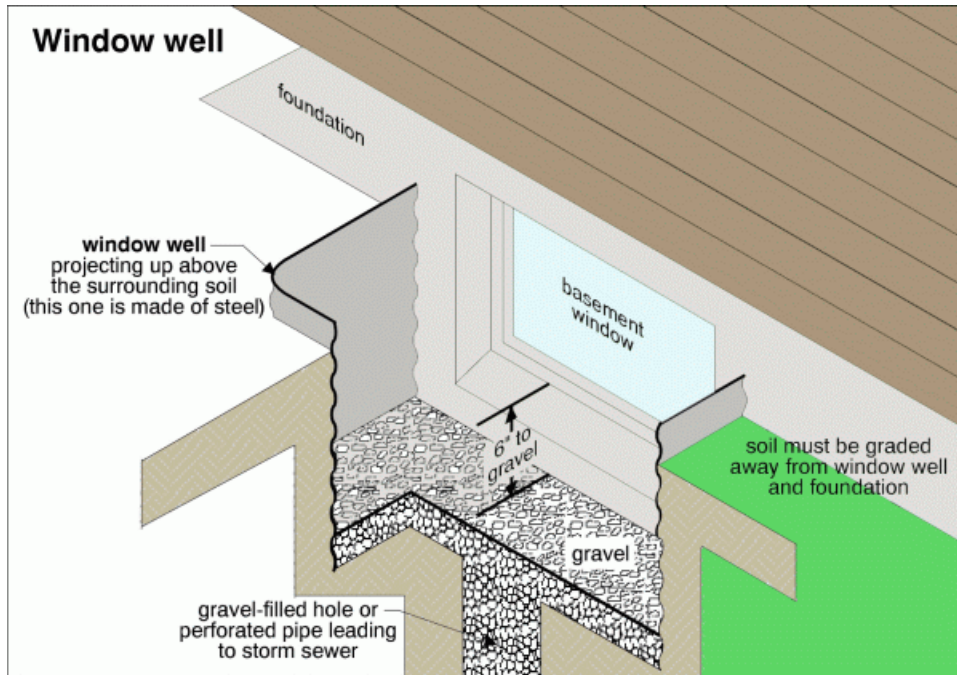
Provide the missing window well on the east side of the house for the basement window that is within 5-7/8" of the ground. This can be a contributing factor to basement moisture issues.

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** East Exterior Yard

**Task:** Provide

**Time:** As soon as practical



43. Missing

**16. Condition:** • Loose

Secure the window wells to the foundation on the west side of the house.

**Location:** West Exterior Driveway



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**Task:** Repair

**Time:** Less than 1 year



44. Loose



45. Loose



46. Loose



47. Loose



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48. Loose

**17. Condition:** • Clean window well

Remove all the dirt and debris from the window wells. Ensure that the window well drains are not blocked. The window wells should not be used for storage. This can be a contributing factor to basement moisture issues.

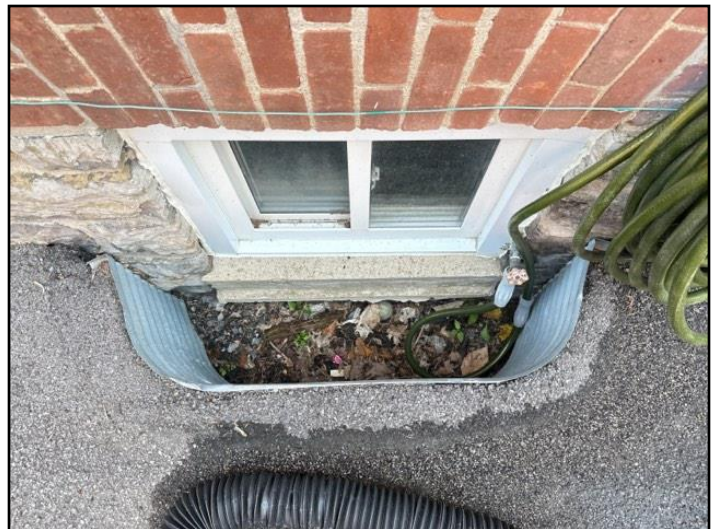
**Location:** West Exterior Driveway

**Task:** Regular maintenance

**Time:** Ongoing



49. Clean window well



50. Clean window well

**PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes**

**18. Condition:** • Poorly built

The stone base of the front porch is poorly built and is settling. The base of the porch and steps should be budgeted for replacement within 2 years.

**Implication(s):** Weakened structure



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**Location:** North Exterior Porch

**Task:** Repair

**Time:** Less than 2 years



51. Poorly built



52. Poorly built



53. Poorly built



54. Poorly built



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Report No. 3412, v.2

[www.abinspections.ca](http://www.abinspections.ca)

SUMMARY

ROOFING

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55. Poorly built



56. Poorly built



57. Poorly built



58. Poorly built



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59. Poorly built

## LANDSCAPING \ Lot grading

19. Condition: • [Improper slope or drainage](#)

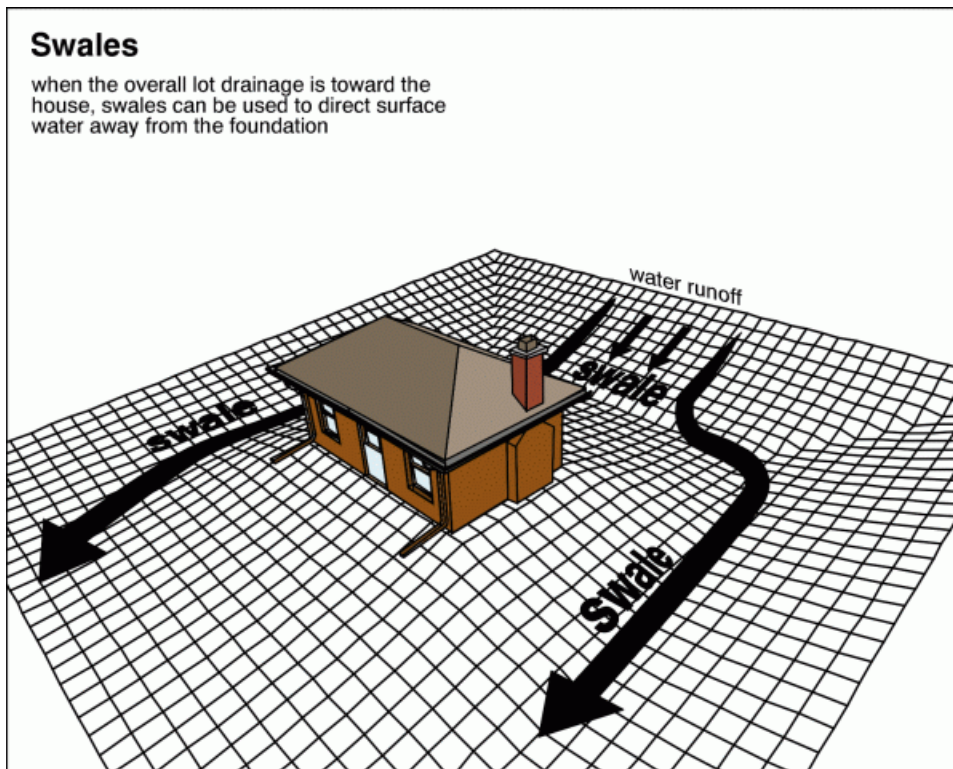
Repair the slope of the ground along the east side of the house to limit the amount of water that accumulates against the foundation walls. This can be a contributing factor to basement moisture issues.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** East Exterior Yard

**Task:** Improve/correct

**Time:** Before winter



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60. Improper slope or drainage



61. Improper slope or drainage

## LANDSCAPING \ Walkway

20. Condition: • [Uneven \(trip hazard\)](#)

The front walkway needs to be repaired to correct the unevenness in the surface, which is currently a trip hazard.

**Implication(s):** Physical injury

**Location:** East Exterior Yard

**Task:** Repair

**Time:** Less than 1 year



62. Uneven (trip hazard)

## LANDSCAPING \ Patios

21. Condition: • Uneven (trip hazard)

The complete rear patio needs to be repaired to correct the unevenness in the surface, which is currently a trip hazard.

**Implication(s):** Physical injury



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**Location:** South Exterior Yard

**Task:** Improve/correct

**Time:** Less than 1 year



63. Uneven (trip hazard)



64. Uneven (trip hazard)



65. Uneven (trip hazard)



66. Uneven (trip hazard)



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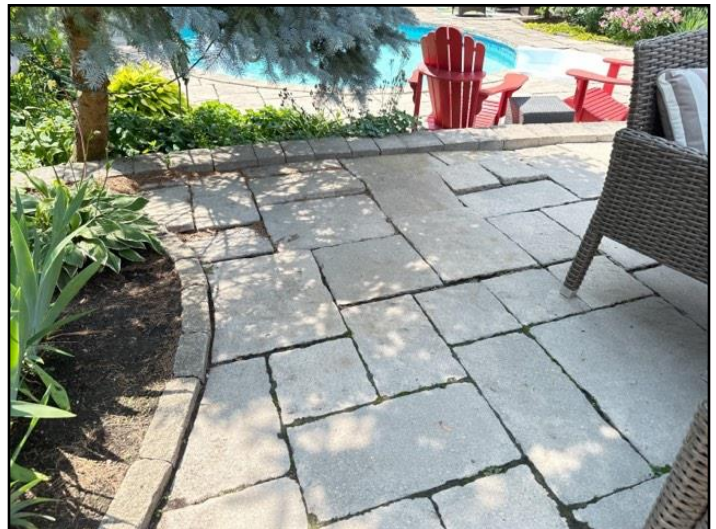
67. Uneven (trip hazard)



68. Uneven (trip hazard)



69. Uneven (trip hazard)



70. Uneven (trip hazard)

## **LANDSCAPING \ Driveway**

**22. Condition:** • [Improper slope or drainage](#)

Repair the slope of the driveway along the west foundation wall. Any gaps between the driveway and foundation need to be sealed. Correct the unevenness in the driveway, which is currently a trip hazard.

**Implication(s):** Chance of water damage to structure, finishes and contents

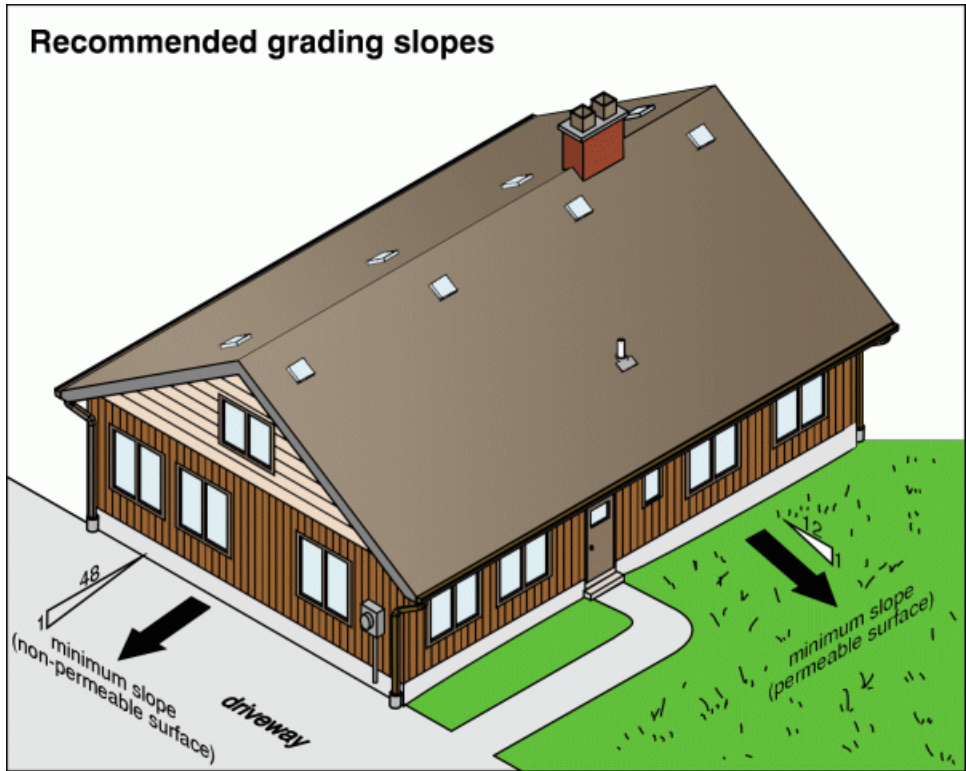
**Location:** West Exterior Driveway

**Task:** Improve/correct

**Time:** As soon as practical



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71. Improper slope or drainage



72. Improper slope or drainage



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73. Improper slope or drainage



74. Improper slope or drainage



75. Improper slope or drainage



76. Improper slope or drainage



## Description

### Configuration:

- [Basement](#)

House

- [Crawlspace](#)

Rear additions

- No access

Rear additions

### Foundation material:

- [Masonry block](#)

Rear additions

- [Stone](#)

House

- Poured concrete rubble hybrid

Rear addition

**Floor construction:** • [Joists](#) • Steel columns • Wood beams (girders) • Subfloor - plank

**Exterior wall construction:** • [Wood frame](#) • [Wood frame / Brick veneer](#)

**Roof and ceiling framing:** • Rafters/ceiling joists • [Plank sheathing](#) • No access

## Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

**Attic/roof space:** • Inspected from access hatch

### Crawlspace:

- No access



77. No access



78. No access

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**Percent of foundation not visible:** • 10 %

**Not included as part of a building inspection:** • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components • Attic load bearing components concealed by insulation cannot be traversed

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations / Observations

### FOUNDATIONS \ General notes

**23. Condition:** • [Settled](#)

Further evaluation required of the major settlement visible in the concrete block foundation of the additions to determine the cause, scope of work and the cost to repair the issue. There is shifting noted on the first and second floors of the additions.

**Implication(s):** Chance of structural movement

**Location:** South Addition Foundations

**Task:** Further evaluation by a structural contractor

**Time:** At this time



79. Settled



80. Settled



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81. Settled



82. Settled



83. Settled



84. Settled



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85. Settled



86. Settled



87. Settled



88. Settled



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89. Settled



90. Settled



91. Settled



92. Settled



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93. Settled



94. Settled



95. Settled



96. Settled



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97. Settled



98. Settled



99. Settled



100. Settled

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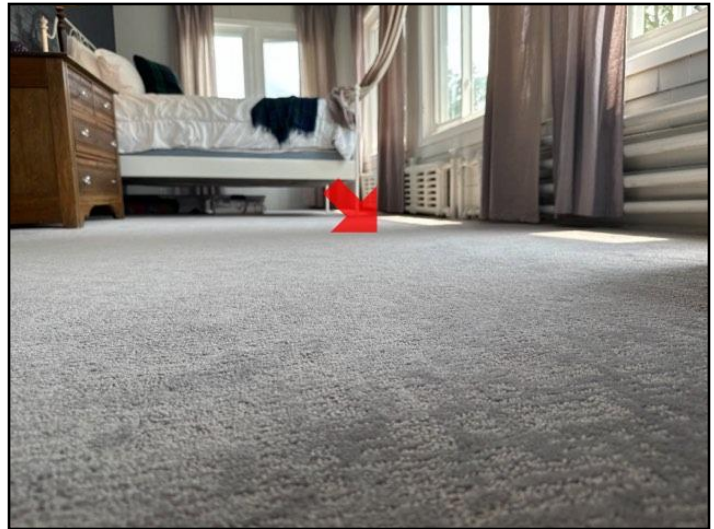
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101. Settled



102. Settled



103. Settled



104. Settled

## 24. Condition: • [Spalling, crumbling or broken material](#)

Repair the spalling of the addition that is visible on the east side of the house. The foundation should be evaluated when the rear and side addition block foundations are being inspected.

**Implication(s):** Weakened structure | Chance of structural movement

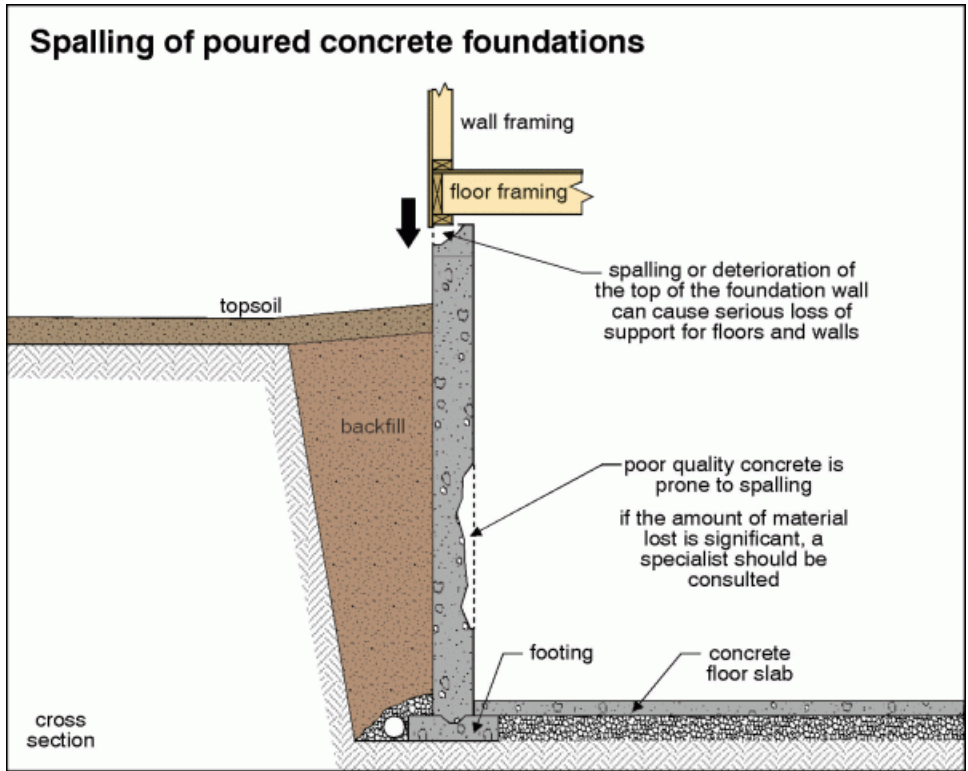
**Location:** Middle Addition Foundation

**Task:** Further evaluation by a foundation contractor

**Time:** At this time



SUMMARY	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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105. Spalling, crumbling or broken material



106. Spalling, crumbling or broken material

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107. Spalling, crumbling or broken material



108. Spalling, crumbling or broken material



109. Spalling, crumbling or broken material

## 25. Condition: • [Mortar deteriorated or missing](#)

Areas of the stone foundation have loose or voids in the mortar joints. This is common for a stone foundation and is a regular occurrence. Stone foundation need ongoing maintenance/re-pointing of the mortar joints. There is some maintenance required of the stone foundation at this time. The foundation should be monitored for further maintenance.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Exterior Foundation

**Task:** Repair

**Time:** Regular maintenance



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110. Mortar deteriorated or missing



111. Mortar deteriorated or missing



112. Mortar deteriorated or missing



113. Mortar deteriorated or missing



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114. Mortar deteriorated or missing



115. Mortar deteriorated or missing



116. Mortar deteriorated or missing



117. Mortar deteriorated or missing



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118. Mortar deteriorated or missing

119. Mortar deteriorated or missing

## FOUNDATIONS \ Beams (Girders)

### 26. Condition: • [Notches or holes](#)

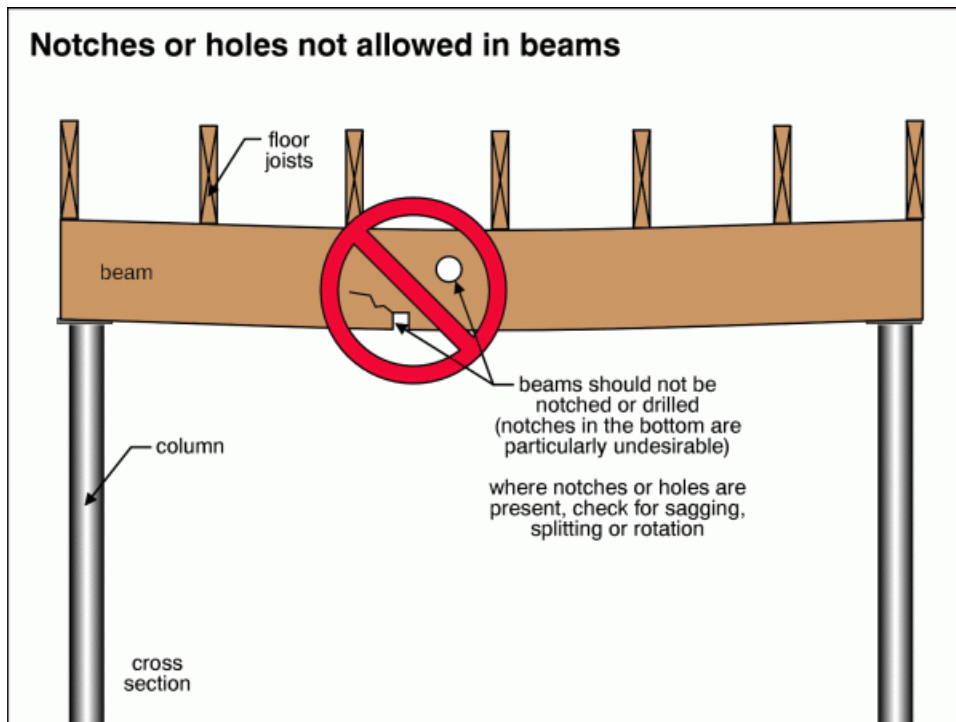
The main wood beam in the basement was recycled from another property. The beam has several indents and large notches. Provide structural support below indents and notches.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Middle Basement Beam

**Task:** Repair

**Time:** Less than 1 year



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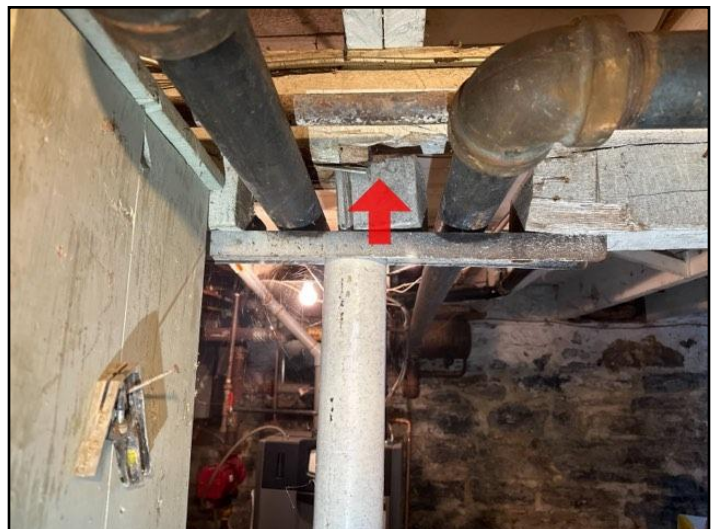
120. Notches or holes



121. Notches or holes



122. Notches or holes



123. Notches or holes



SUMMARY	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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124. Notches or holes



125. Notches or holes



126. Notches or holes



127. Notches or holes

## WALLS \ Masonry veneer walls

27. Condition: • [Lintel sagging](#)

Repair the sagging lintel over the first floor dining room window on the east side of the house.

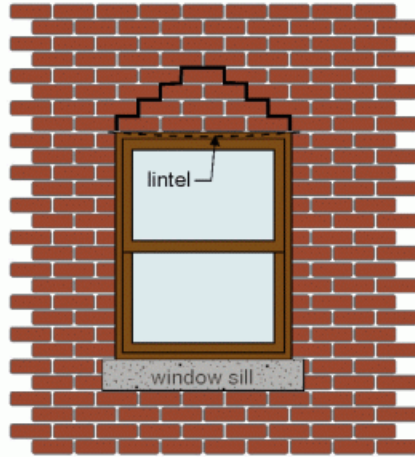
**Implication(s):** Weakened structure | Chance of structural movement

**Location:** East First Floor Exterior Wall

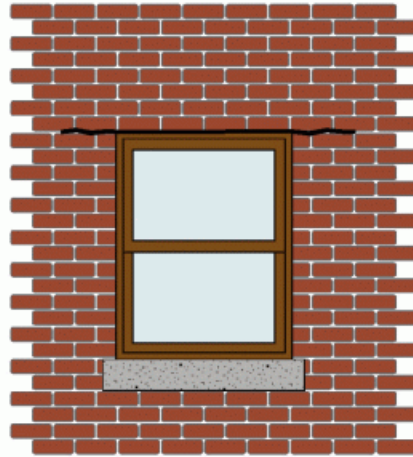
**Task:** Repair

**Time:** Less than 3 years

## Lintel related wall cracks



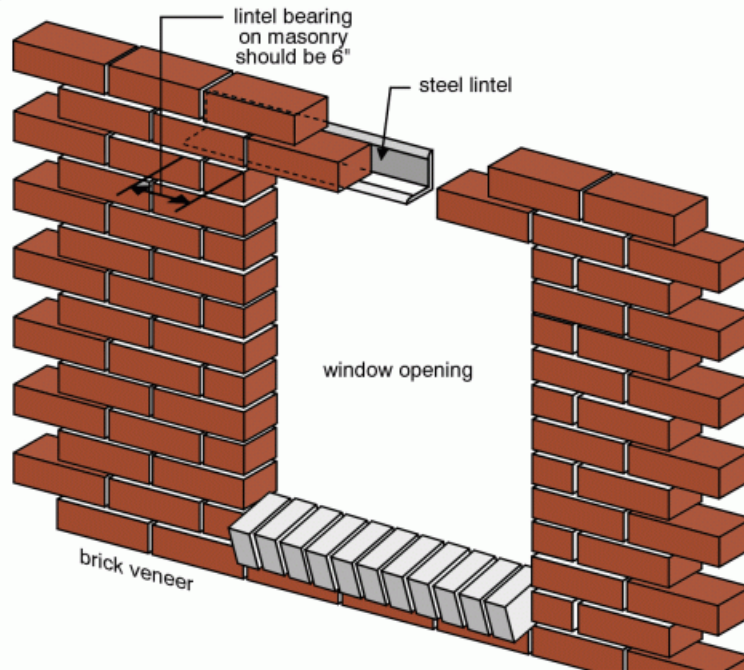
crack pattern commonly associated with sagging lintels due to undersizing or deterioration



horizontal crack often caused by rusting steel lintels expanding

## Steel lintel in brick veneer wall

cutaway view





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128. Lintel sagging



129. Lintel sagging

**28. Condition:** • [Lintel sagging](#)

Repair the hairline crack in the brick above the first floor kitchen window on the west side of the house. Monitor the lintel for sagging or the brick for cracks.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** West First Floor Exterior Wall

**Task:** Monitor

**Time:** As required



130. Lintel sagging



131. Lintel sagging

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

**Service entrance cable and location:** • [Overhead aluminum](#)

**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [200 Amps](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution panel rating:** • [200 Amps](#)

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - upgraded](#) • [Ungrounded - minimal](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#) • [GFCI - exterior](#)

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • Present

## Limitations

**Inspection limited/prevented by:** • Storage • Insulation

**Panel covers:** • Disconnect covers are not removed by the building inspector

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

**Not included as part of a building inspection:** • Remote control devices • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms

## Recommendations / Observations

**DISTRIBUTION SYSTEM \ Wiring (wires) - installation**

**29. Condition:** • [Not well secured](#)

Secure the loose electrical conduit run along the east side of the house.

**Implication(s):** Electric shock | Fire hazard

**Location:** East First Floor Exterior Wall

**Task:** Repair

**Time:** Less than 1 year





132. Not well secured

**30. Condition:** • [Extension cord used as permanent wiring](#)

Provide a hardwired outlet for the automatic condensation pump, which is currently powered with an extension cord.

**Implication(s):** Electric shock | Fire hazard

**Location:** East Basement

**Task:** Repair

**Time:** Before next winter



133. Extension cord used as permanent wiring

**DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**31. Condition:** • [Ground needed for 3-slot outlet](#)

There are 3-slot outlets on the second floor of the original house that do not have an active ground. The ground slots in the outlets should be sealed off or the outlets change to two prong ungrounded model ( <https://www.leviton.com/en/products/223-w> ).

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**Implication(s):** Electric shock

**Location:** Middle Second Floor Hallway East Bedroom North Master Bedroom

**Task:** Repair

**Time:** Upon possession



134. Ground needed for 3-slot outlet



135. Ground needed for 3-slot outlet



136. Ground needed for 3-slot outlet



137. Ground needed for 3-slot outlet





138. Ground needed for 3-slot outlet

**32. Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Provide the missing GFCI outlet in the first floor bathroom.

**Implication(s):** Electric shock

**Location:** West First Floor Bathroom

**Task:** Replace

**Time:** Before using



139. GFCI/GFI needed (Ground Fault Circuit...

**33. Condition:** • [Test faulty on GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Replace the inoperative GFCI outlet on the side exterior wall.

**Implication(s):** Electric shock

**Location:** West First Floor Exterior Wall

**Task:** Replace

**Time:** Before using



140. Test faulty on GFCI/GFI (Ground Fault...

**34. Condition:** • [Test faulty on GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

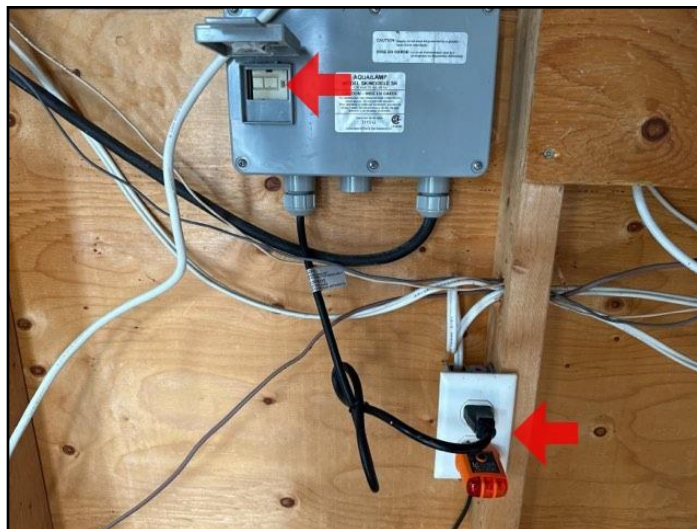
Replace the inoperative GFCI outlet for the pool lights.

**Implication(s):** Electric shock

**Location:** South Exterior Pool Shed

**Task:** Replace

**Time:** Upon possession



141. Test faulty on GFCI/GFI (Ground Fault...

## DISTRIBUTION SYSTEM \ Lights

**35. Condition:** • [Loose](#)

Secure the loose light in the third floor storage room.

**Implication(s):** Electric shock | Fire hazard



**Location:** South Third Floor Storage Room

**Task:** Repair

**Time:** Upon possession



142. Loose

**DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**36. Condition:** • Missing

Provide the missing smoke detector on the third floor of the house.

**Implication(s):** Safety issue

**Location:** Middle Third Floor

**Task:** Provide

**Time:** Upon possession

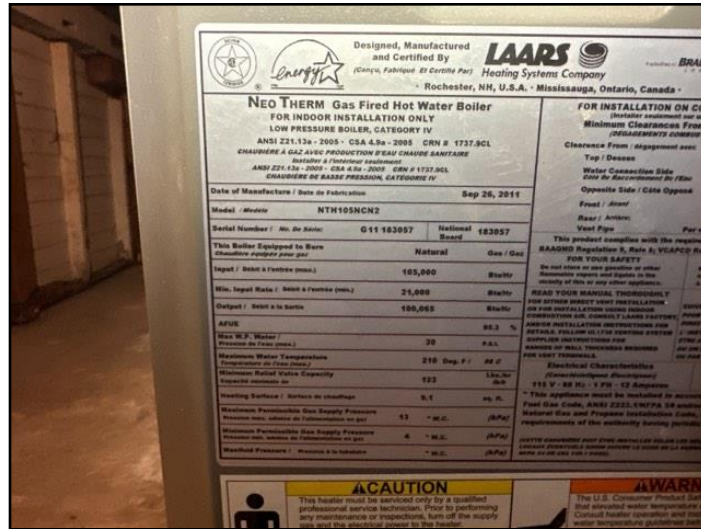


143. Missing

## Description

Heating system type:

- [Boiler](#)



144. Boiler

Fuel/energy source: • [Gas](#)

Heat distribution: • [Radiators](#)

Approximate capacity: • 105,000 BTU/hr

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Combustion air source: • Outside - sealed combustion

Approximate age: • [12 years](#)

Main fuel shut off at: • Meter • Utility room

Failure probability: • [High](#)

Fireplace/stove: • Non-functional

Chimney/vent: • [Masonry](#)

Chimney liner: • [None](#)

Mechanical ventilation system for building: • None

Location of the thermostat for the heating system: • Dining Room

Condensate system: • Equipped with an automatic condensation pump



## Limitations

- Inspection prevented/limited by:** • System was shut off
- Safety devices:** • Not tested as part of a building inspection
- Warm weather:** • Prevented testing in heating mode
- Heat loss calculations:** • Not done as part of a building inspection
- Heat exchanger:** • Not visible
- Not included as part of a building inspection:** • Heat exchangers

## Recommendations / Observations

### GAS HOT WATER BOILER \ Life expectancy

**37. Condition:** • [Near end of life expectancy](#)

Budget to replace the boiler in the future. The average life span of a high-efficiency condensing boiler is 15-20 years.

**Implication(s):** Equipment failure | No heat for building

**Location:** East Basement

**Task:** Replace

**Time:** As required



145. Near end of life expectancy

### GAS HOT WATER BOILER \ Gas meter

**38. Condition:** • [Poor access](#)

Keep the bushes trimmed away from the gas meter.

**Implication(s):** Difficult to service

**Location:** East Exterior Yard

**Task:** Regular maintenance

**Time:** Ongoing



146. Poor access

## **GAS HOT WATER BOILER \ Gas piping**

### **39. Condition:** • [Inadequate support](#)

Provide additional support for the loose gas supply line along the east side of the house. Supports are required every 10' on centre. The gas line is for the BBQ and pool heater.

**Implication(s):** Equipment not operating properly | Fire or explosion

**Location:** East First Floor Exterior Wall

**Task:** Repair

**Time:** Less than 1 year



# HEATING

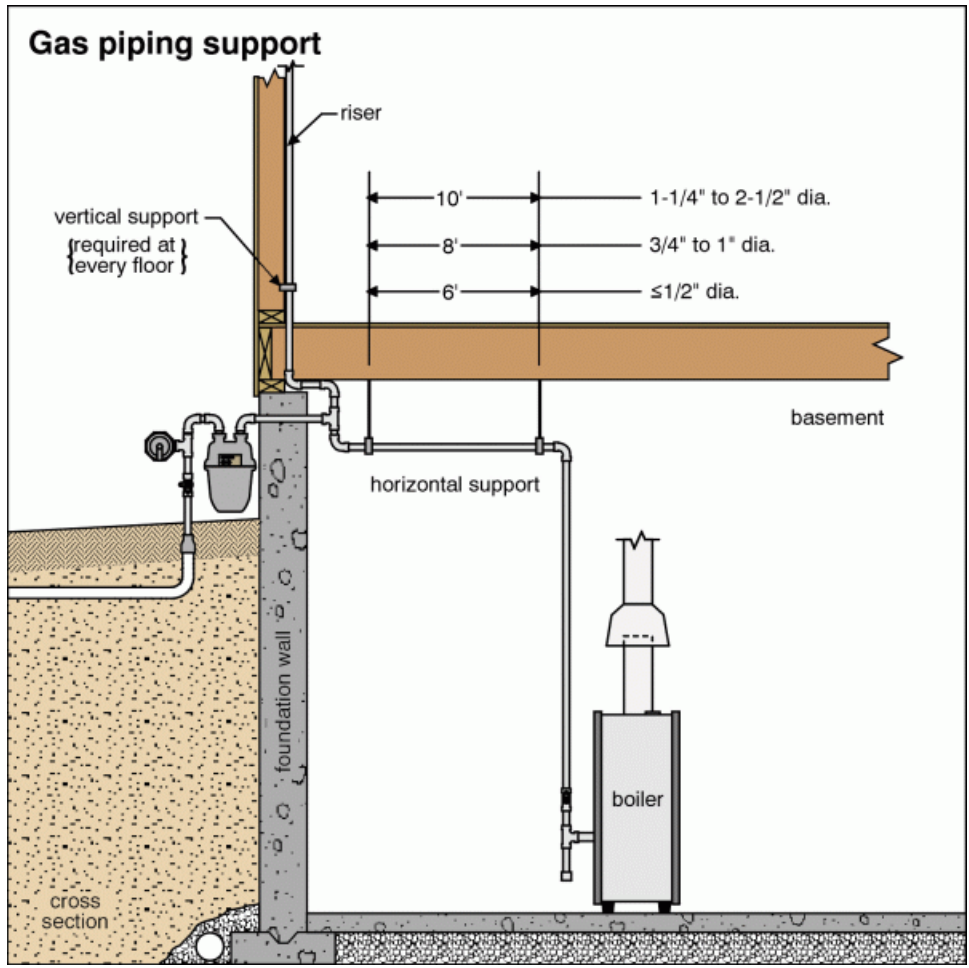
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147. Inadequate support



148. Inadequate support

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149. Inadequate support



150. Inadequate support



151. Inadequate support

## **GAS HOT WATER BOILER \ Venting system**

**40. Condition:** • [Rust, dirty, obstructed](#)

The boiler exhaust vent is 12" above the driveway. Keep the snow and ice cleared away from the vent during the winter months.

**Implication(s):** Hazardous combustion products entering home

**Location:** East Exterior Yard

**Task:** Regular maintenance

**Time:** Ongoing



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152. Rust, dirty, obstructed



153. Rust, dirty, obstructed

## GAS HOT WATER BOILER \ Piping

41. Condition: • [Poor support](#)

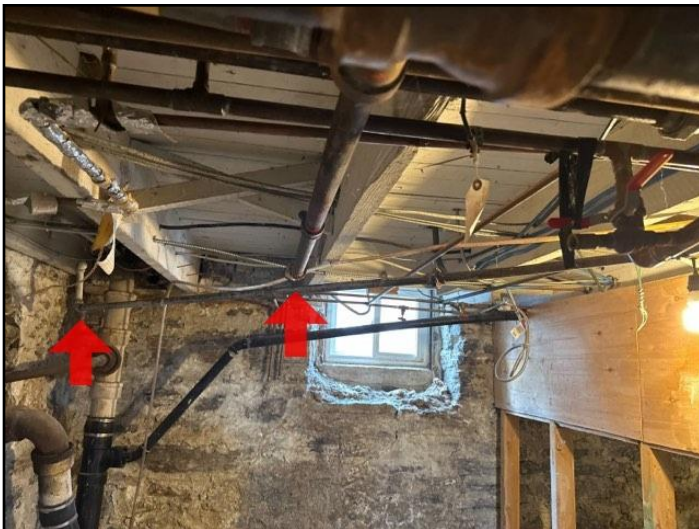
Support the capped off boiler lines at the southwest corner of the basement.

**Implication(s):** Chance of water damage to structure, finishes and contents

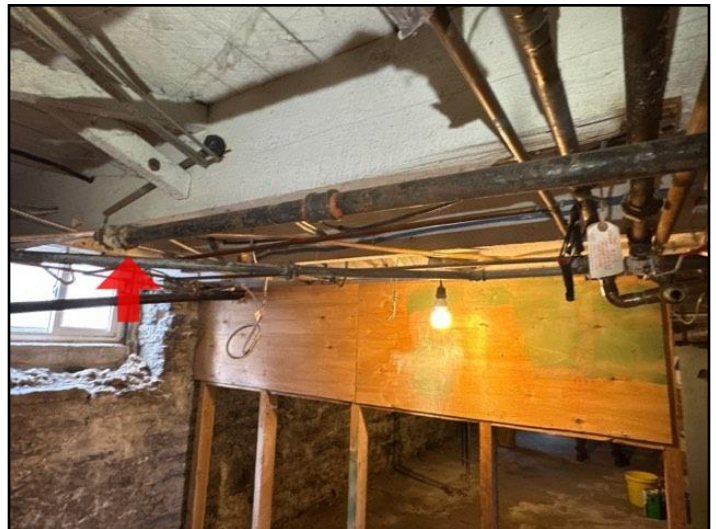
**Location:** Southwest Basement

**Task:** Repair

**Time:** Upon possession



154. Poor support



155. Poor support



156. Poor support

**42. Condition:** • [Poor support](#)

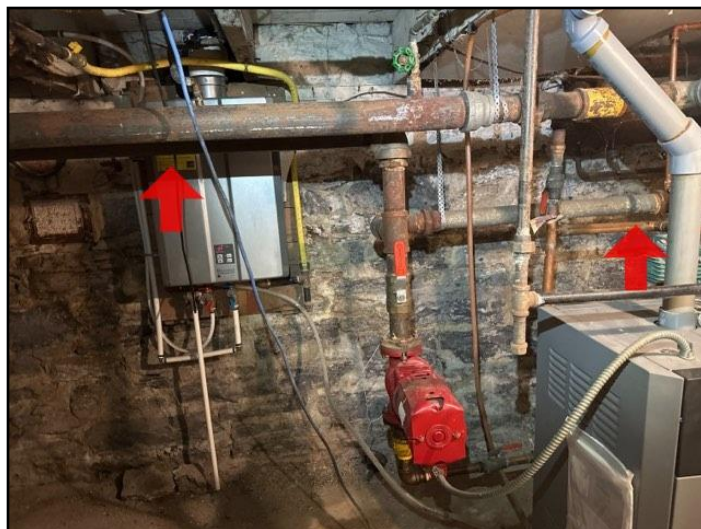
Support the main supply lines at the boiler.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** East Basement

**Task:** Repair

**Time:** Less than 1 year



157. Poor support

**GAS HOT WATER BOILER \ Radiators, convectors and baseboards**

**43. Condition:** • [Missing](#)

Provide the missing radiator for the main second floor bathroom.

**Implication(s):** Increased heating costs | Reduced comfort

**Location:** West Second Floor Bathroom



**Task:** Provide

**Time:** As soon as practical



158. Missing

### GAS HOT WATER BOILER \ Mid- and high-efficiency boiler

**44. Condition:** • The boiler needs to be serviced

The boiler should be serviced annually in the fall before the start of the heating season.

**Location:** East Basement

**Task:** Service

**Time:** Annually



159. Near end of life expectancy

### CHIMNEY AND VENT \ Masonry chimney

**45. Condition:** • [Loose, missing or deteriorated masonry](#)

The abandoned boiler and fireplace chimneys are crumbling, leaning, and falling apart. The chimneys should be removed or rebuilt.

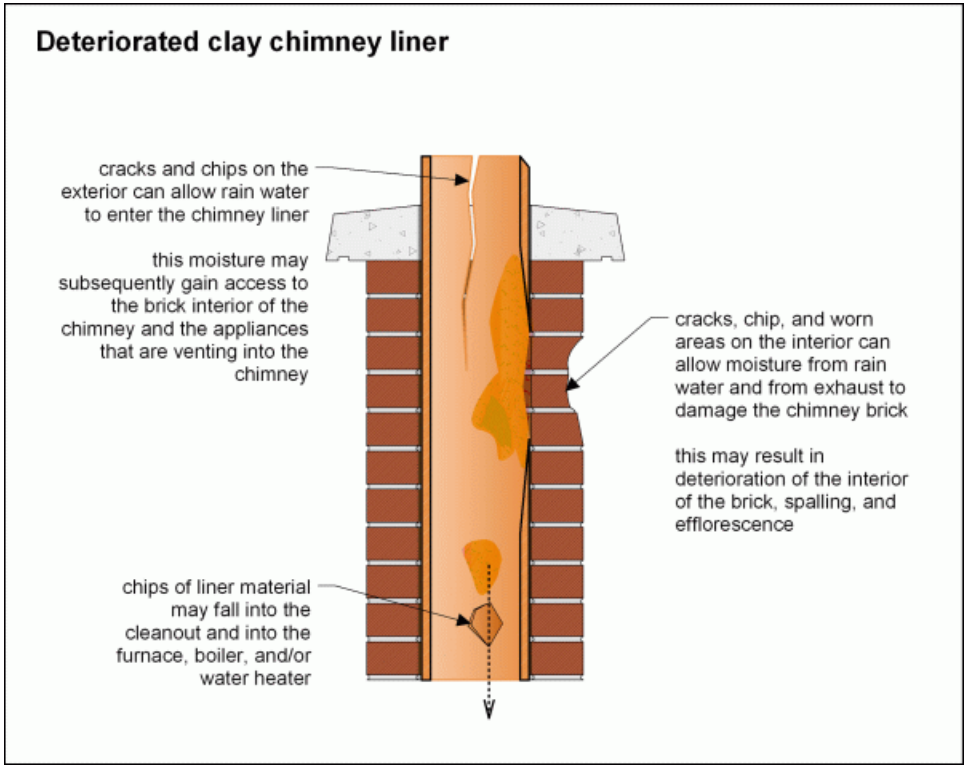
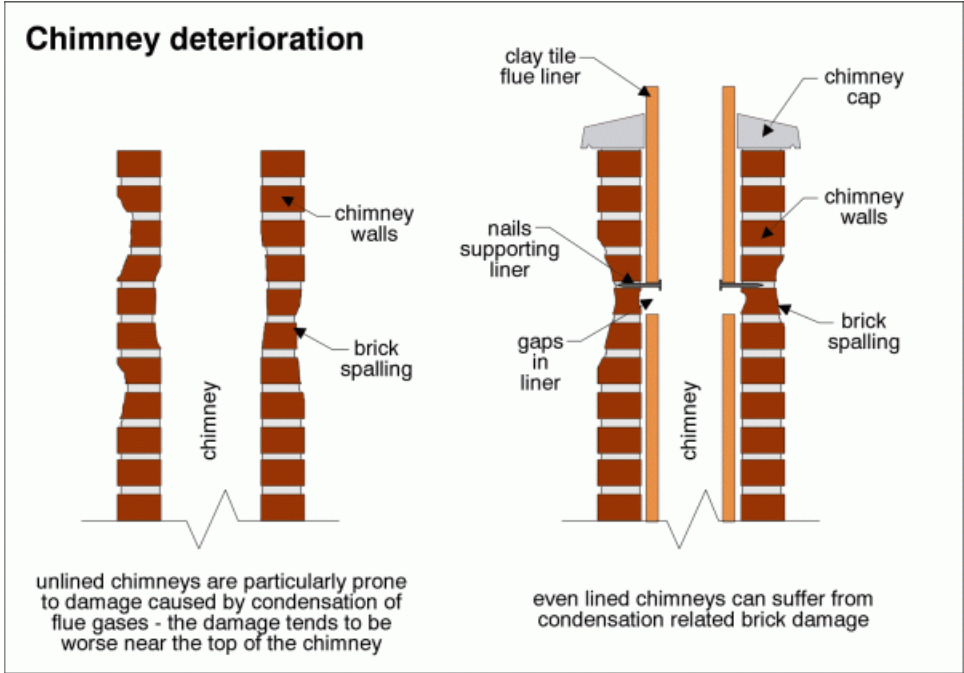
SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Implication(s):** Material deterioration

**Location:** East Exterior Chimneys

**Task:** Remove Rebuild

**Time:** Less than 2 years





# HEATING

1 INSPECTION WAY, Arnprior, ON July 14, 2023

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[www.abinspections.ca](http://www.abinspections.ca)

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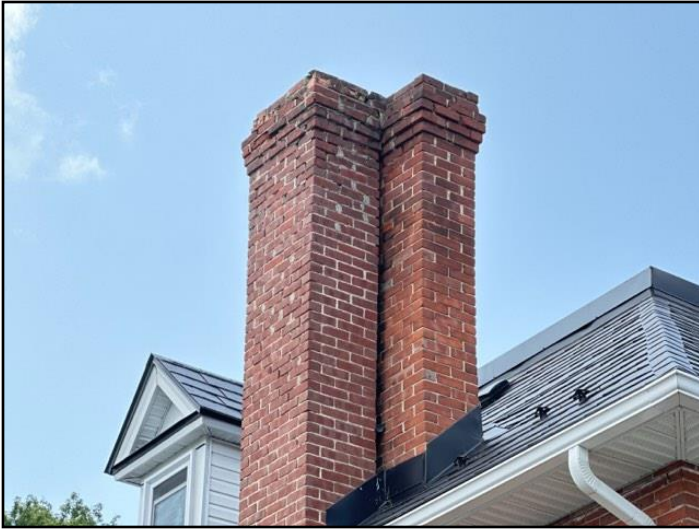
COOLING

INSULATION

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REFERENCE



160. Loose, missing or deteriorated masonry



161. Loose, missing or deteriorated masonry



162. Loose, missing or deteriorated masonry



163. Loose, missing or deteriorated masonry

# HEATING

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164. Loose, missing or deteriorated masonry



165. Loose, missing or deteriorated masonry

## FIREPLACE \ General notes

46. Condition: • Not functional

The fireplace in the house is decorative only and can not be used for a fire. There is no visible chimney liner, the chimney is severely deteriorated and is missing a cap.

Implication(s): System inoperative

Location: North First Floor Living Room



166. Not functional



167. Not functional



# COOLING & HEAT PUMP

1 INSPECTION WAY, Arnprior, ON July 14, 2023

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- STRUCTURE
- ELECTRICAL
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- COOLING**
- INSULATION
- PLUMBING
- INTERIOR

## REFERENCE

## Description

**Air conditioning type:** • None present

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## Description

**Attic/roof insulation material:** • [Glass fiber](#) • No Access  
**Attic/roof insulation amount/value:** • Not determined  
**Attic/roof air/vapor barrier:** • [Plastic](#) • No access  
**Attic/roof ventilation:** • No access  
**Wall insulation material:** • No access  
**Wall insulation amount/value:** • No access  
**Wall air/vapor barrier:** • No access  
**Foundation wall insulation material:** • None  
**Foundation wall insulation amount/value:** • None  
**Foundation wall air/vapor barrier:** • None  
**Floor above basement/crawlspace insulation material:** • None  
**Floor above basement/crawlspace insulation amount/value:** • None  
**Floor above basement/crawlspace air/vapor barrier:** • None  
**Crawlspace ventilation:** • [Into basement](#)

## Limitations

**Inspection limited/prevented by lack of access to:** • Floor space • Walls, which were spot checked only  
**Attic inspection performed:** • From access hatch  
**Roof ventilation system performance:** • Not evaluated  
**Air/vapor barrier system:** • Continuity not verified  
**Mechanical ventilation effectiveness:** • Not verified  
**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.  
**Not included as part of a building inspection:** • Insulation cannot be disturbed



## Description

**Water supply source (based on observed evidence):** • Public

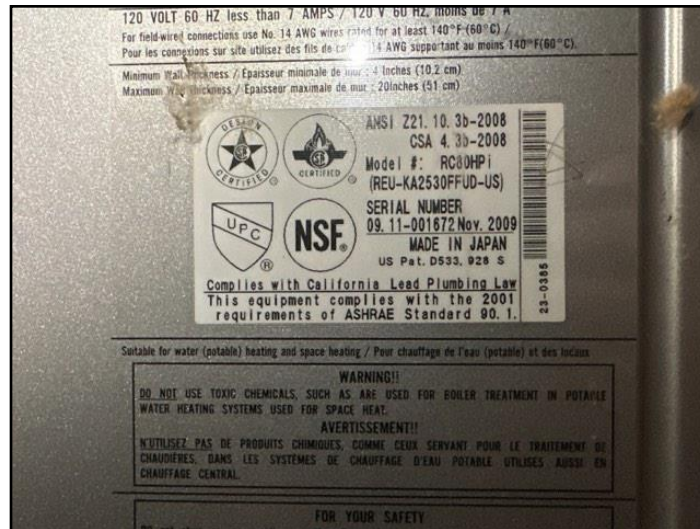
**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#) • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:** • Front of the basement

**Water heater type:**

• Tankless/On demand



168. Tankless/On demand

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Direct vent - sealed combustion

**Water heater tank capacity:** • Tank less system has no water storage.

**Water heater approximate age:** • 14 years

**Water heater failure probability:** • [High](#)

**Hot water temperature (Generally accepted safe temp. is 120° F):**

• 120° F



169. 120° F

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [ABS plastic](#) • [Copper](#) • [Cast iron](#)

**Floor drain location:** • Rear of the basement

**Main gas shut off valve location:** • Gas meter

**Backwater valve:** • Not present

**Exterior hose bibb (outdoor faucet):** • Present

## Limitations

**Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

**Not included as part of a building inspection:** • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys

## Recommendations / Observations

### **SUPPLY PLUMBING \ Water supply piping in building**

**47. Condition:** • [Non-standard material](#)

Replace the spa-flex line that has been used as a water supply line and run through the east basement window opening. Secure the loose shut-off valves at the connection to the spa-flex line.

**Implication(s):** Chance of water damage to structure, finishes and contents | Reduced system life expectancy | No water

**Location:** South Basement

**Task:** Repair

**Time:** Before using



# PLUMBING

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[www.abinspections.ca](http://www.abinspections.ca)

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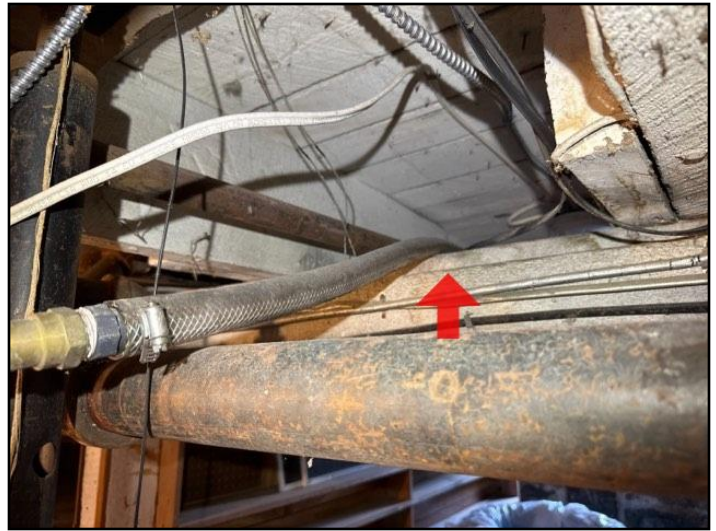
**PLUMBING**

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170. Non-standard material



171. Non-standard material



172. Non-standard material



173. Non-standard material

## WATER HEATER \ Life expectancy

48. Condition: • [Near end of life expectancy](#)

The water heater should be budgeted for replacement due to the age of the unit. The average life span of an on demand water heater is 13-17 years.

**Implication(s):** No hot water

**Location:** East Basement

**Task:** Replace

**Time:** As required





174. Near end of life expectancy

### WATER HEATER - GAS BURNER AND VENTING \ Venting system

49. Condition: • [Rust, dirty, obstructed](#)

Keep the weeds and bushes cleared a minimum of 18 inches away from the water heater intake exhaust vent on the side of the house.

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

**Location:** East Exterior Yard

**Task:** Regular maintenance

**Time:** Seasonally



175. Rust, dirty, obstructed



176. Rust, dirty, obstructed

### WASTE PLUMBING \ Drain piping - performance

50. Condition: • [Poor slope](#)

Repair the steep slope of the kitchen sink drain line in the basement.

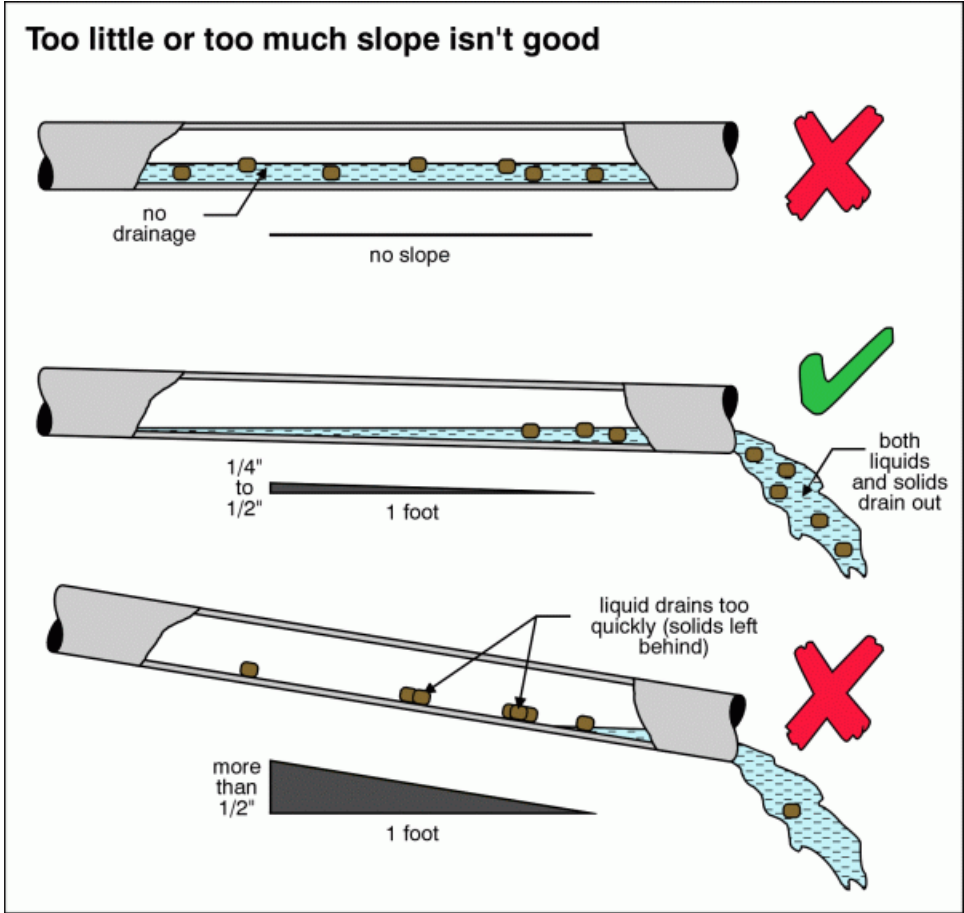


**Implication(s):** Sewage entering the building

**Location:** Southwest Basement

**Task:** Repair

**Time:** As soon as practical



177. Poor slope

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**51. Condition:** • [Dishwasher drain connections](#)

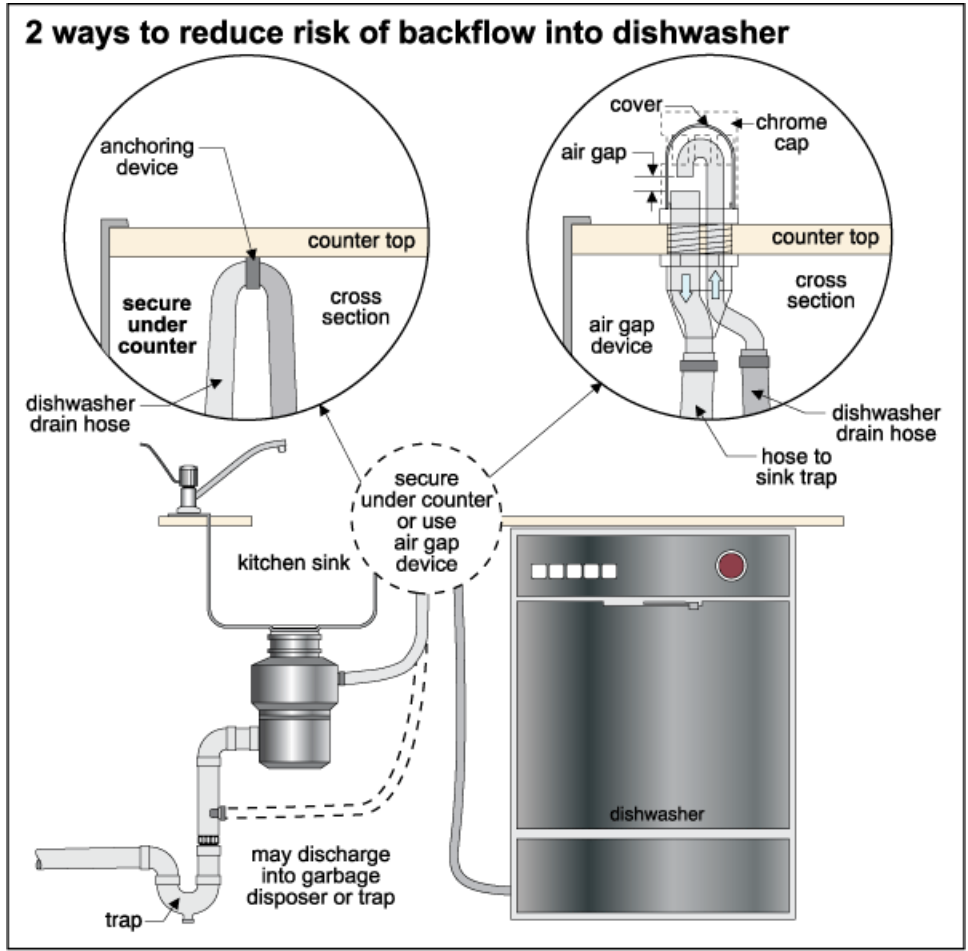
Improve the dishwasher discharge line. The discharge line needs to be installed above the sink trap. The discharge line should go to the underside of the counter top before connecting to the sink drain.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Southwest Basement

**Task:** Repair

**Time:** Upon possession







178. Dishwasher drain connections



179. Dishwasher drain connections

**52. Condition:** • Old piping

Cast iron waste plumbing piping was used regularly in residential construction into the late 1960s. The typical life span of cast iron is approximately 50 years. Some insurance companies are requiring it to be scoped. It is recommended that you contact your insurance provider and request their policy on cast iron waste plumbing pipes. It is recommended that you have the cast iron drains scoped at this time.

**Location:** Throughout Original House

**Task:** Request disclosure from insurance provider

**Time:** At this time



180. Old piping



181. Old piping



182. Old piping

### WASTE PLUMBING \ Traps - installation

53. Condition: • [Wrong type](#)

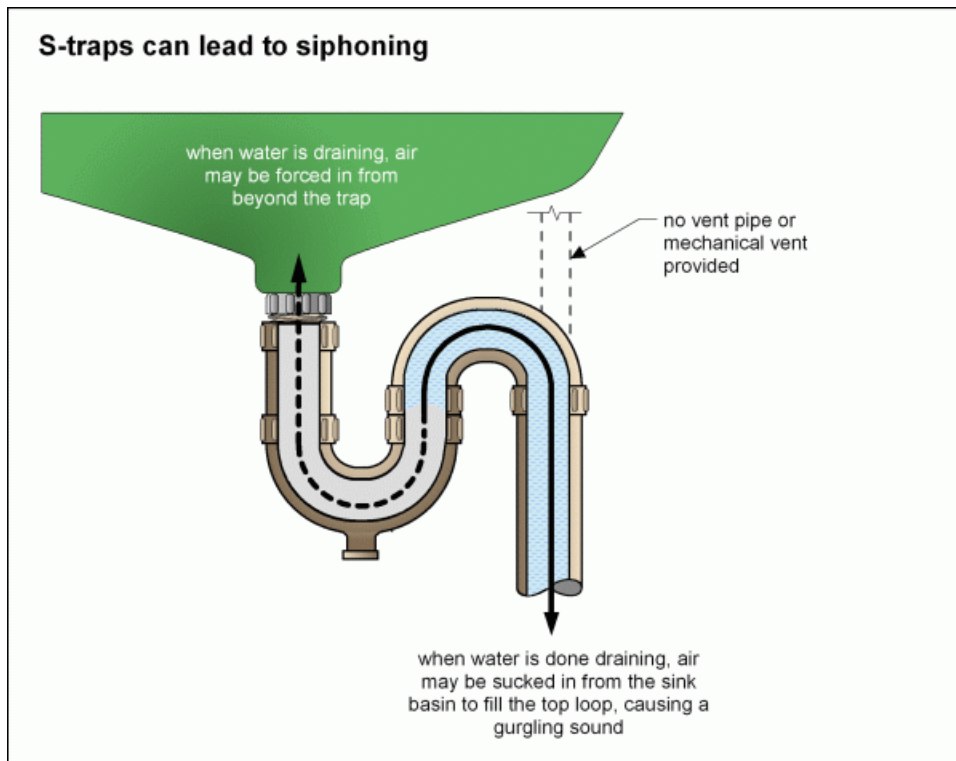
Replace the "S" trap below the second floor bathroom sink with the proper "P" trap.

**Implication(s):** Sewer gases entering the building

**Location:** West Second Floor Bathroom

**Task:** Repair

**Time:** Less than 1 year







183. Wrong type

**54. Condition:** • [Wrong type](#)

Replace the "S" trap below the first floor kitchen sink with the proper "P" trap.

**Implication(s):** Sewer gases entering the building

**Location:** West First Floor Kitchen

**Task:** Repair

**Time:** As soon as practical



184. Wrong type

**FIXTURES AND FAUCETS \ Bathtub enclosure**

**55. Condition:** • [Caulking loose, missing or deteriorated](#)

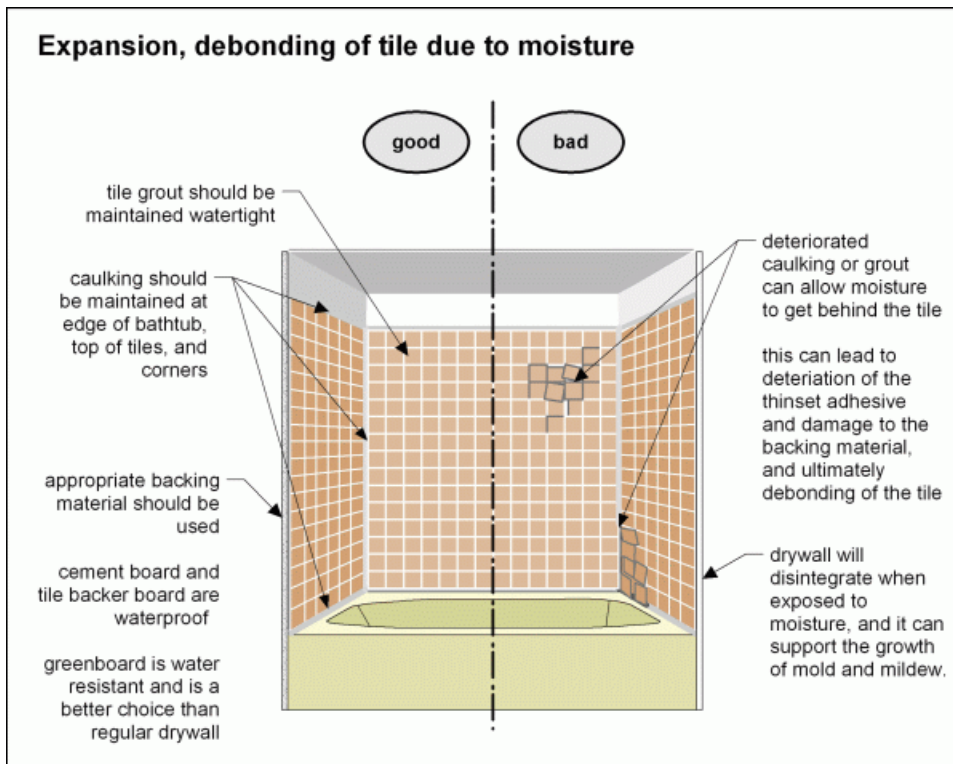
Provide the missing caulking at the tile intersections of the main second floor bathroom bathtub enclosure.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West Second Floor Bathroom

**Task:** Provide

**Time:** Upon possession



185. Caulking loose, missing or deteriorated

## **FIXTURES AND FAUCETS \ Toilet**

**56. Condition:** • [Loose](#)

Secure the loose toilet in the first floor bathroom.

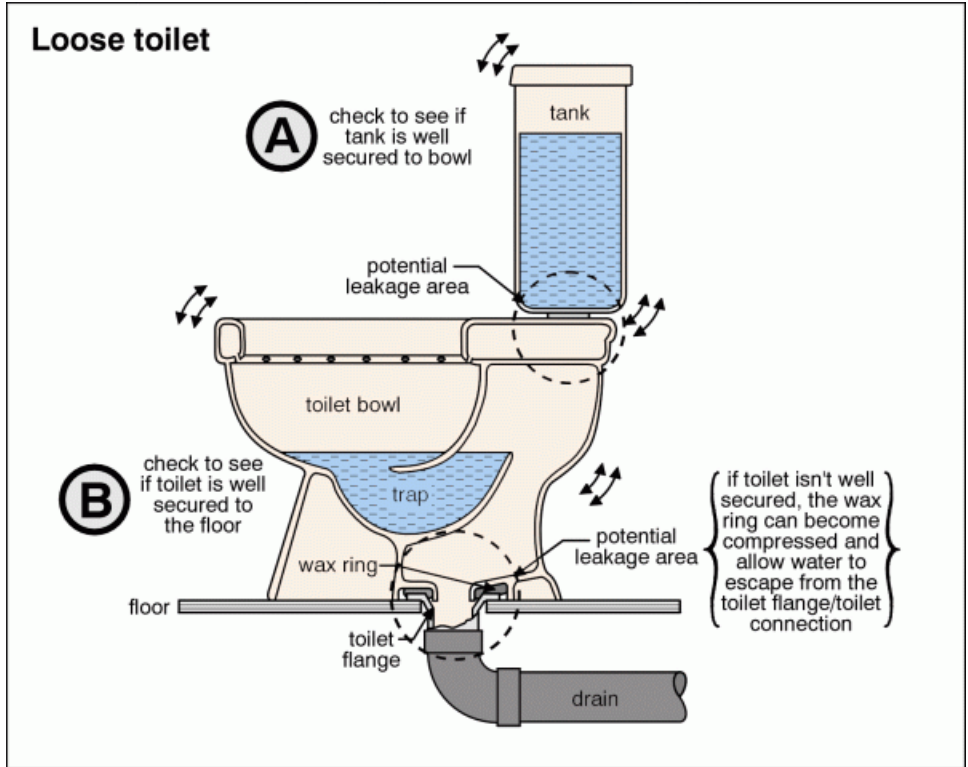
**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage



**Location:** West First Floor Bathroom

**Task:** Repair

**Time:** Upon possession



186. Loose

## Description

**Major floor finishes:** • [Carpet](#) • [Hardwood](#) • [Resilient](#) • Vinyl • Tile

**Major wall finishes:** • [Plaster/drywall](#)

**Major ceiling finishes:** • [Plaster/drywall](#) • Wood panelling

**Windows:** • [Fixed](#) • [Sliders](#) • [Casement](#) • [Awning](#) • Vinyl

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [French](#) • [Solid wood](#) • [Metal](#)

**Evidence of basement leakage:** • Present • Stains • Dampness • Rust • Rot • Musty or damp odor • Dehumidifier in basement

**Kitchen ventilation:** • Range hood • Discharges to exterior

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:** • Clothes dryer vented to exterior

## Limitations

**Inspection limited/prevented by:** • Carpet • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum Appliances • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Window coatings and seals between panes of glass

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Basement leakage:** • Cannot predict how often or how badly basement will leak

## Recommendations / Observations

### RECOMMENDATIONS \ General

**57. Condition:** • [Pest activity evident](#)

Further evaluation is required of the pest activity observed in the attic and below the ensuite bathroom shower stall.

**Location:** Second Floor Third Floor

**Task:** Further evaluation by a specialist

**Time:** At this time



# INTERIOR

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187. Pest activity evident



188. Pest activity evident



189. Pest activity evident



190. Pest activity evident

## WINDOWS \ Hardware

58. Condition: • [Inoperative](#)

The latch for the casement window on the east side of the rear second floor bedroom is not functioning properly. The window will not latch when closed.

**Implication(s):** System inoperative or difficult to operate

**Location:** South Second Floor Addition

**Task:** Repair

**Time:** Upon possession



191. Inoperative

## STAIRS \ Treads

### 59. Condition: • [Rise excessive](#)

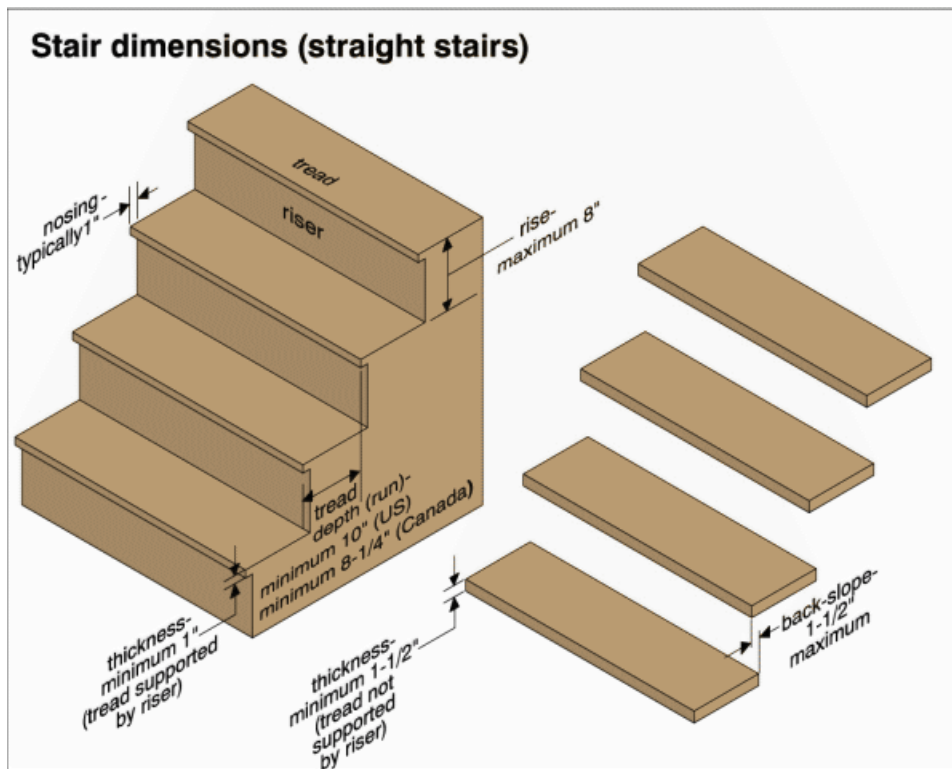
The stair to the third floor are too steep and too narrow under current requirements. The stairs are original to the house and will need to be corrected if renovated.

**Implication(s):** Trip or fall hazard

**Location:** Middle Third Floor Staircase

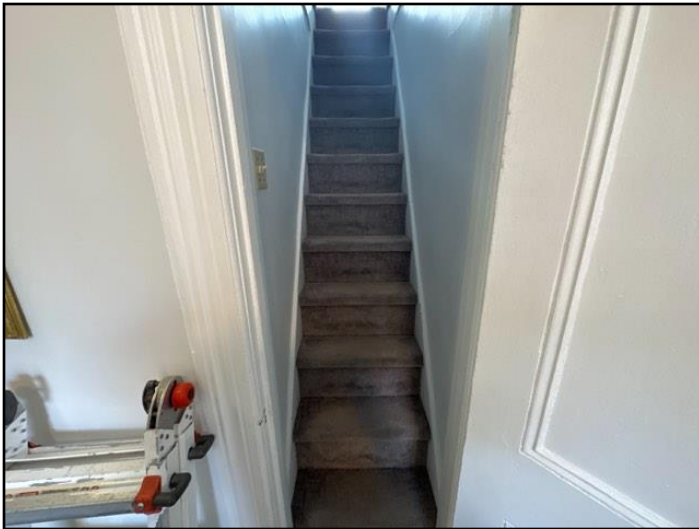
**Task:** Monitor

**Time:** Ongoing





SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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192. Rise excessive



193. Rise excessive



194. Rise excessive



195. Rise excessive

## STAIRS \ Handrails and guards

60. Condition: • [Too low](#)

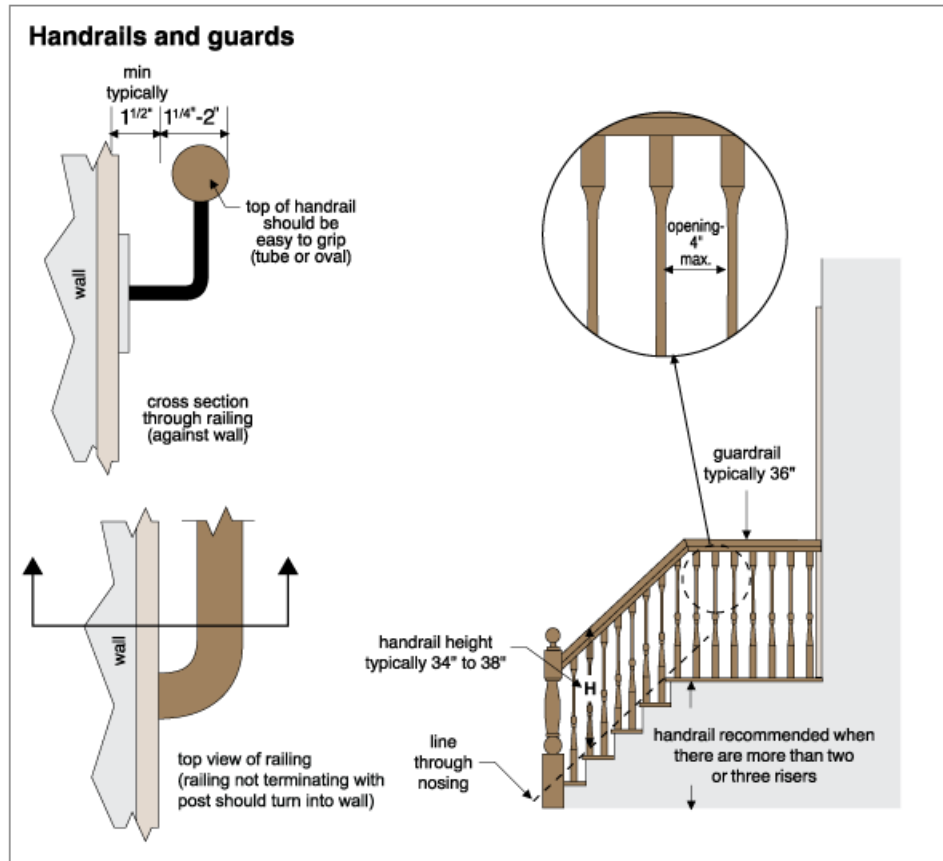
Because the third floor was renovated, the handrail around the third floor staircase should be 36" high.

**Implication(s):** Fall hazard

**Location:** Middle Third Floor Staircase

**Task:** Repair

**Time:** Upon possession



196. Too low



197. Too low

61. Condition: • [Missing](#)

Install the missing handrail for the third floor stairs.

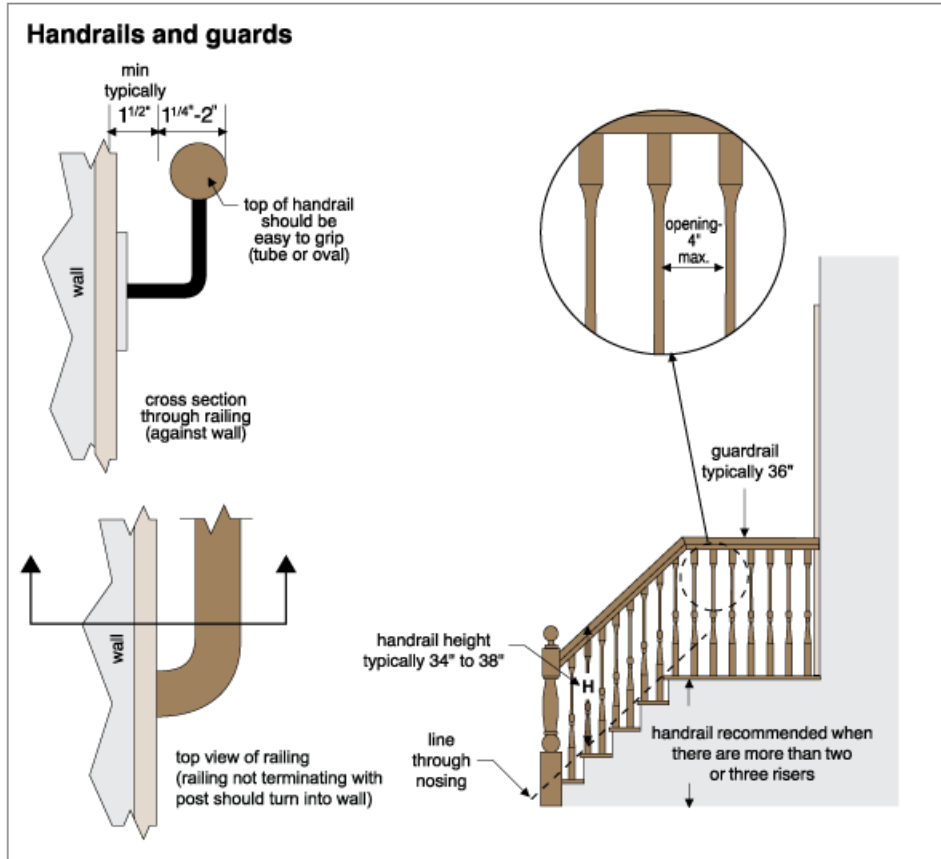
Implication(s): Fall hazard



Location: Middle Third Floor Staircase

Task: Provide

Time: Upon possession



198. Missing

**62. Condition:** • [Missing](#)

Provide the missing handrail for the basement stairs.

**Implication(s):** Fall hazard

**Location:** East Basement Staircase

**Task:** Provide

**Time:** As soon as practical



199. Missing

**BASEMENT \ Wet basement - evidence**

**63. Condition:** • [Stains](#)

There are signs of regular flooding in the basement. The basement should not be used for storage. The steel posts will need to be checked regularly for rust and required replacement. The basement will need constant airflow and a dehumidifier to remove some of the dampness. It is common to have water problems in a basement with a stone foundation.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Throughout Basement



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200. Stains



201. Stains



202. Stains



203. Stains



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204. Stains



205. Stains



206. Stains



207. Stains



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208. Stains



209. Stains



210. Stains



211. Stains

## APPLIANCES \ Dryer

**64. Condition:** • Clean dryer vent

The dryer exhaust venting system needs to be cleaned regularly.

**Location:** West First Floor Exterior Wall

**Task:** Regular maintenance

**Time:** Ongoing



212. Clean dryer vent

**END OF REPORT**



The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS