



YOUR INSPECTION REPORT

The best home inspection experience available.

PREPARED BY:

Mark Bowditch



FOR THE PROPERTY AT:

1 INSPECTION WAY

Nepean, ON

PREPARED FOR:

ACCURATE BUILDING INSPECTIONS

INSPECTION DATE:

Wednesday, November 22, 2023



**ACCURATE
BUILDING INSPECTIONS**

Accurate Building Inspections Inc.

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SUMMARY

1 INSPECTION WAY, Nepean, ON November 22, 2023

Report No. 3553, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

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This Summary outlines items that might become significant issues if not addressed and potentially substantial matters from a cost or safety standpoint. This section is a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

Provide the missing handrail for the front entrance steps and landing.

Implication(s): Fall hazard

Location: South Exterior Entrance

Task: Provide

Time: Spring

LANDSCAPING \ Walkway

Condition: • [Uneven \(trip hazard\)](#)

The front walkway and step need to be repaired to correct the unevenness in the surface, which is currently a trip hazard.

Implication(s): Physical injury

Location: South Exterior Yard

Task: Improve/correct

Time: As soon as practical

Electrical

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

Condition: • [Modified or added wiring](#)

Request a copy of the Electric Safety Authority (E.S.A.) inspection certificate from the seller for the modified and added wiring for the recent renovations.

Location: Basement First Floor Attic

Task: Request information from the seller

Time: At this time

Heating

FURNACE \ Life expectancy

Condition: • [Near end of life expectancy](#)

The furnace should be budgeted for replacement due to the age and condition of the unit.

Implication(s): Equipment failure | No heat for building

Location: North Basement Furnace Room

Task: Replace

Time: As required

FURNACE \ Filter

Condition: • [Dirty](#)

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The furnace filter should be changed every month. Use 16"x 25"x 1" low restriction merv 8 filters when changing. The arrow on the filter should point towards the furnace.

Implication(s): Increased heating costs | Reduced comfort

Location: North Basement Furnace Room

Task: Replace

Time: Monthly

CHIMNEY AND VENT \ Masonry chimney

Condition: • [Settling or leaning](#)

The chimney added on the east side of the house at the south corner is settling and leaning away from the home. The chimney should be removed, and the hole in the wall for the flue sealed.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of chimney movement | Hazardous combustion products entering home

Location: East Exterior Foundation

Task: Remove

Time: As soon as practical

Insulation and Ventilation

ATTIC/ROOF \ Roof vents

Condition: • [Obstructed](#)

The soffits are blocked and not providing the required air intake into the attic. Open the soffits on the exterior of the house and provide the missing insulation baffles for the soffits on the interior of the attic.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Throughout First Floor Attic Roof

Task: Improve/correct

Time: Before next winter

Interior

EXHAUST FANS \ General notes

Condition: • [Inoperative](#)

Repair the first-floor bathroom exhaust fan that would not operate during the inspection and did not vent to the house's exterior.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: East First Floor Bathroom

Task: Repair

Time: Upon possession

This concludes the Summary section.

The remainder of the report describes each building system and details our improvement recommendations. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a

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pre-purchase building inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

The home is considered to face: • South

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Aluminum

Limitations

Inspection limited/prevented by: • Snow/ice/frost

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Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Towards building](#) • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#)

Wall surfaces - masonry: • [Brick](#)

Retaining wall: • [Masonry](#) • [Stone](#)

Driveway: • Asphalt

Walkway: • Interlocking brick

Porch: • Interlocking brick

Exterior steps: • Concrete • Interlocking brick

Limitations

Inspection limited/prevented by: • New finishes/paint/trim

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Outbuildings other than garages and carports

Recommendations / Observations

ROOF DRAINAGE \ Gutters

1. Condition: • [Missing](#)

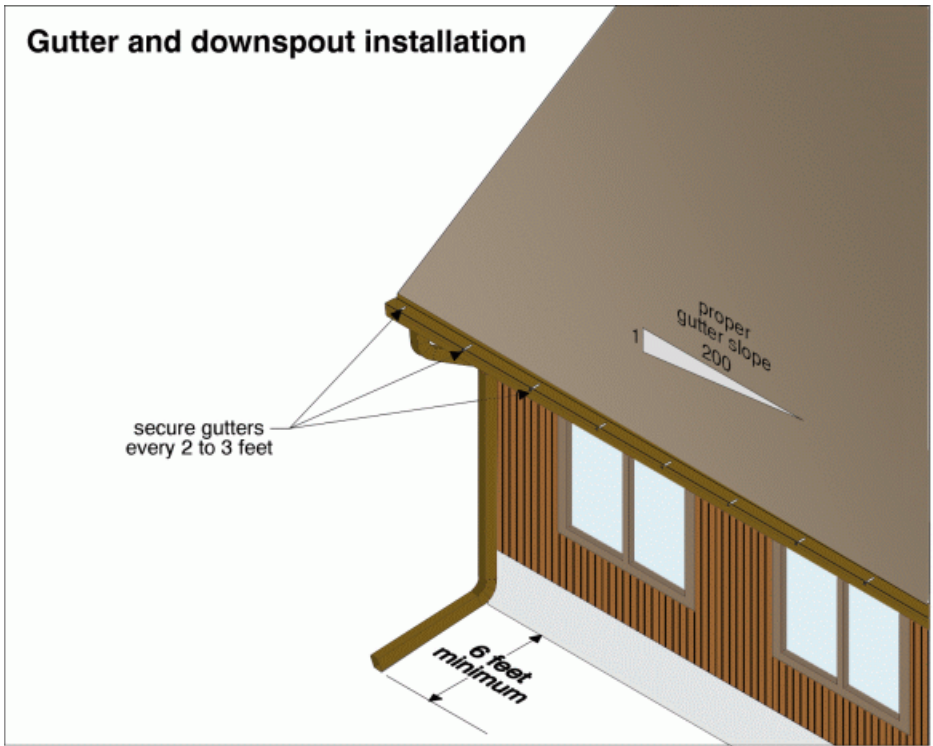
Provide the missing gutters on the draining roof edges of the garage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Detached Garage Roof

Task: Provide

Time: Spring



1. Missing



2. Missing

ROOF DRAINAGE \ Downspouts

2. Condition: • [Should discharge 6 feet from building](#)

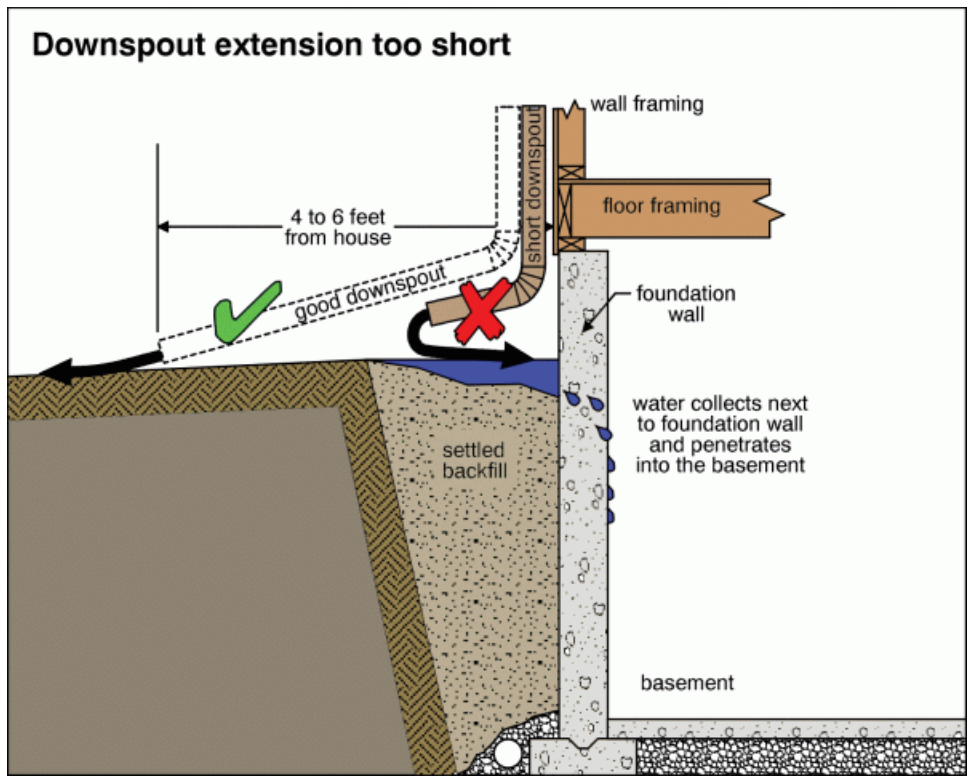
The downspouts should discharge a minimum of 6 feet from the foundation walls. This can be a contributing factor to basement moisture issues.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout Exterior Yard

Task: Improve

Time: Spring



3. Should discharge 6 feet from building



4. Should discharge 6 feet from building

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5. Should discharge 6 feet from building

6. Should discharge 6 feet from building

WALLS \ Masonry (brick, stone) and concrete

3. Condition: • [Mortar deterioration](#)

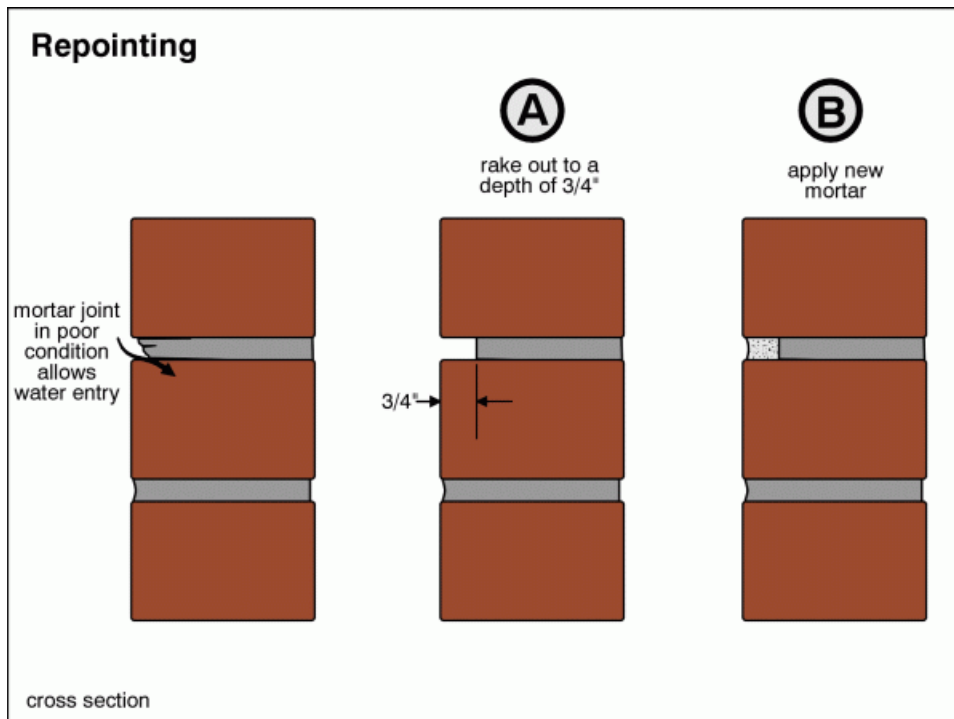
Repoint the loose mortar on the west facing brick veneer wall at the front of the house.

Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: West First Floor Exterior Wall

Task: Improve/correct

Time: As soon as practical



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7. Mortar deterioration



8. Mortar deterioration

4. Condition: • [Parging damaged or missing](#)

Repair the cracked cosmetic parging at the northwest corner of the house foundation.

Implication(s): Chance of damage to structure | Shortened life expectancy of material

Location: Northwest Basement Foundation

Task: Repair

Time: Discretionary



9. Parging damaged or missing



10. Parging damaged or missing

WALLS \ Vent (fan, clothes dryer, etc.)

5. Condition: • Cover damaged

Replace the damaged vent cover at the rear of the house. The vent can be sealed off. It was for the dryer, which has been relocated to the side of the house.

Implication(s): Increased operating costs

Location: North Foundation Exterior Wall

Task: Replace

Time: Spring



11. Cover damaged

6. Condition: • Loose

Provide the fasteners for the new kitchen exhaust vent cover at the rear of the house.

Location: North First Floor Exterior Wall

Task: Provide

Time: Spring



12. Loose

EXTERIOR GLASS/WINDOWS \ Window wells

7. Condition: • Clean window well

The window wells should be cleaned regularly. They should be kept free of debris and not used for storage.

Location: East Exterior Yard

Task: Regular maintenance

Time: Ongoing

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13. Clean window well



14. Clean window well

DOORS \ Exterior trim

8. Condition: • [Paint or stain needed](#)

The rear entrance door sill needs to be sanded, primed, and painted. Repair any damage to the door sill before priming.

Implication(s): Chance of damage to finishes and structure | Material deterioration

Location: North First Floor Entrance

Task: Repair

Time: Regular maintenance



15. Paint or stain needed

9. Condition: • [Paint or stain needed](#)

The front entrance door sill needs to be sanded, primed, and painted. Repair any damage to the door sill before priming.

Implication(s): Chance of damage to finishes and structure | Material deterioration

Location: West First Floor Entrance

Task: Repair

Time: Regular maintenance



16. Paint or stain needed

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

10. Condition: • [Stair rise too big or not uniform](#)

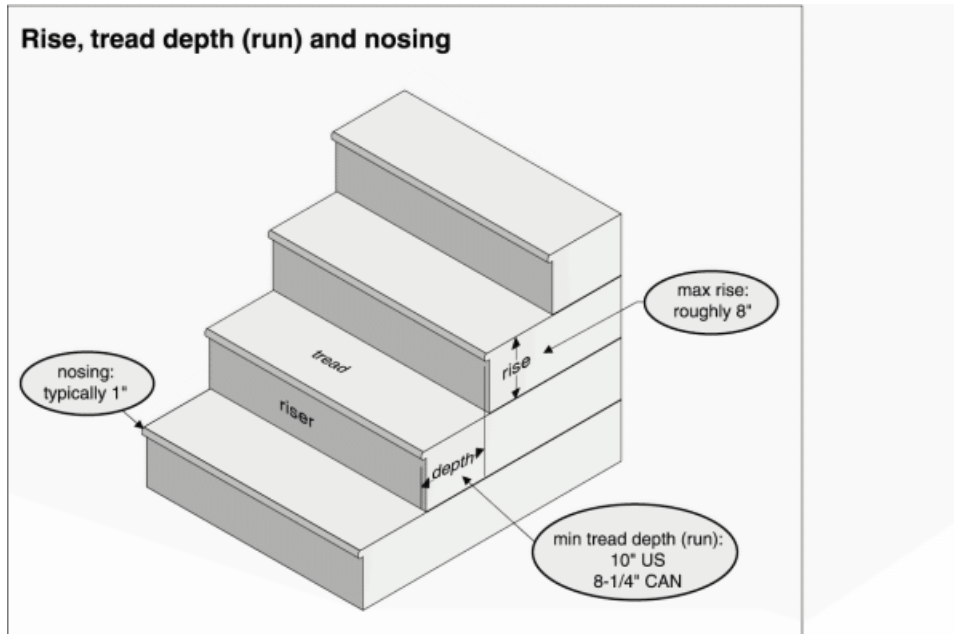
The rise from the rear stair landing to the back door sill should not exceed 7-7/8".

Implication(s): Trip or fall hazard

Location: North Exterior Entrance

Task: Improve/correct

Time: As required



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17. Stair rise too big or not uniform



18. Stair rise too big or not uniform



19. Stair rise too big or not uniform

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

11. Condition: • [Missing](#)

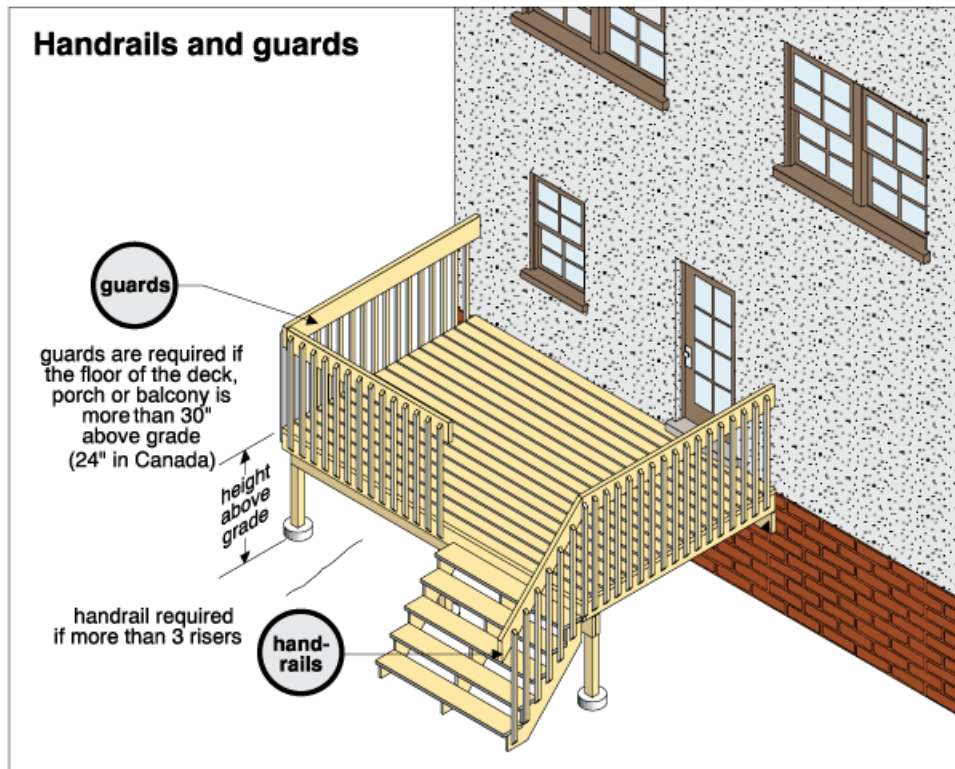
Provide the missing handrail for the front entrance steps and landing.

Implication(s): Fall hazard

Location: South Exterior Entrance

Task: Provide

Time: Spring



20. Missing

LANDSCAPING \ General notes

12. Condition: • [Trees or shrubs too close to building](#)

Trim the trees a minimum of 1 meter away from the house.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

Location: Northeast Exterior Yard

Task: Regular maintenance

Time: Seasonally

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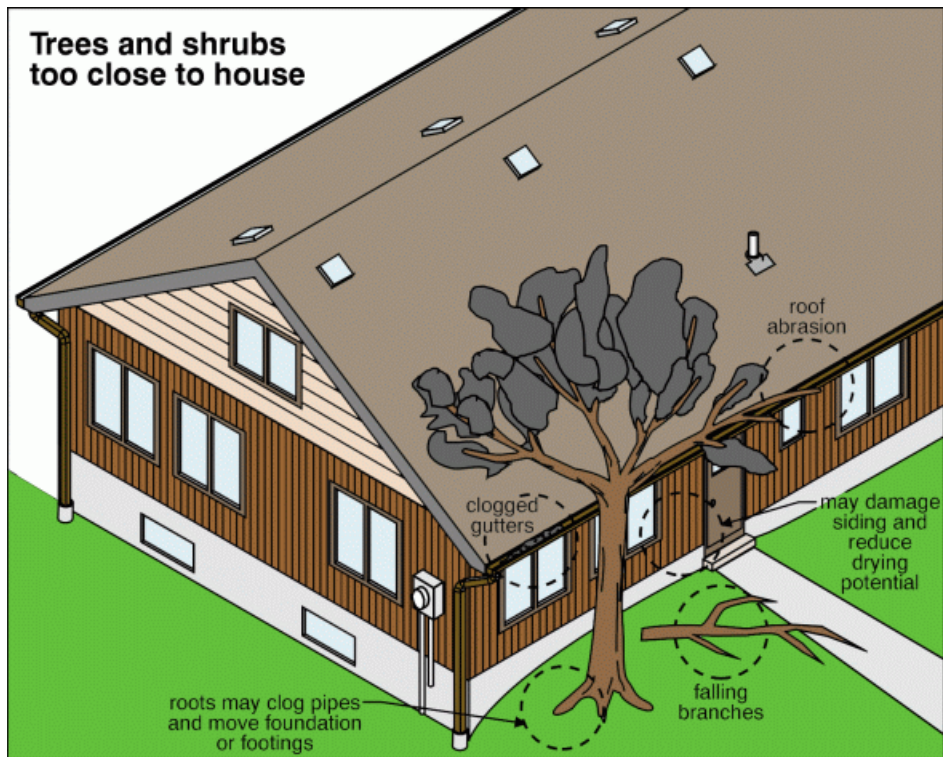
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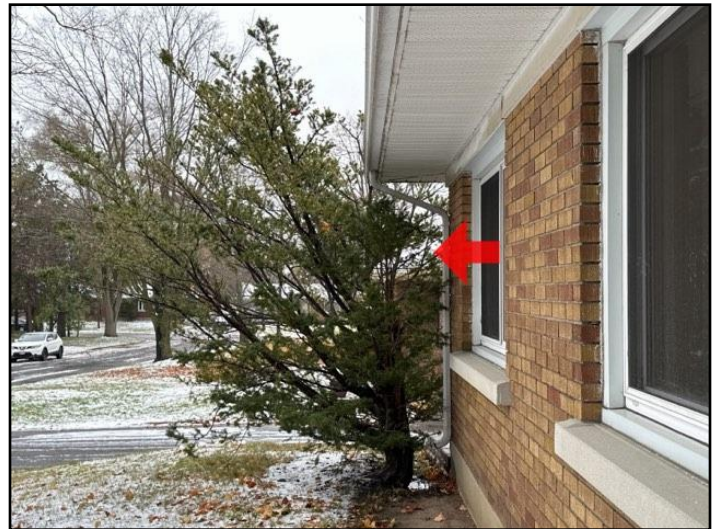
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21. Trees or shrubs too close to building



22. Trees or shrubs too close to building

LANDSCAPING \ Lot grading

13. Condition: • [Improper slope or drainage](#)

Repair the slope of the ground around the house to limit the amount of water that accumulates against the foundation walls. The ground should slope away from the foundation. This can be a contributing factor to basement moisture issues.

Implication(s): Chance of water damage to structure, finishes and contents

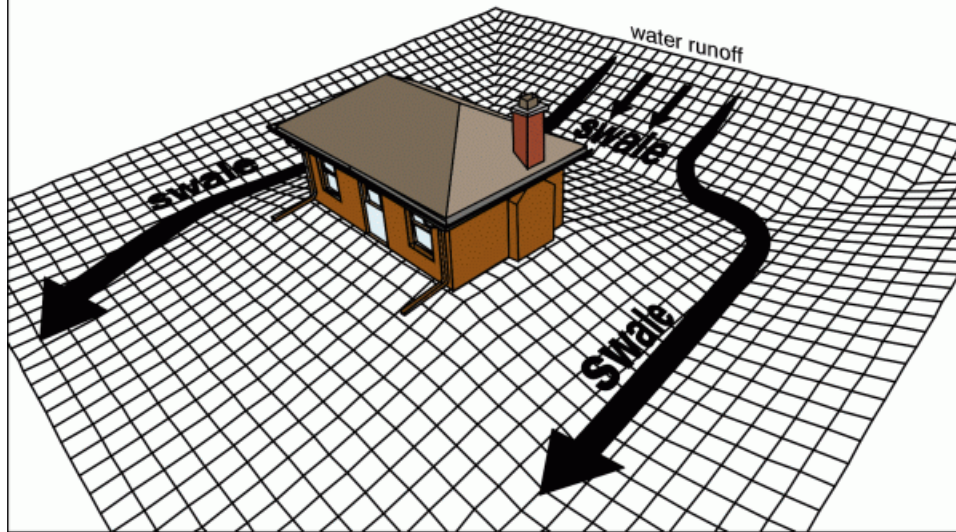
Location: North East South Exterior Yard

Task: Improve/correct

Time: Before next winter

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



23. Improper slope or drainage



24. Improper slope or drainage

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25. Improper slope or drainage

LANDSCAPING \ Walkway

14. Condition: • [Uneven \(trip hazard\)](#)

The front walkway and step need to be repaired to correct the unevenness in the surface, which is currently a trip hazard.

Implication(s): Physical injury

Location: South Exterior Yard

Task: Improve/correct

Time: As soon as practical



26. Uneven (trip hazard)



27. Uneven (trip hazard)



28. Uneven (trip hazard)



29. Uneven (trip hazard)

LANDSCAPING \ Driveway

15. Condition: • [Improper slope or drainage](#)

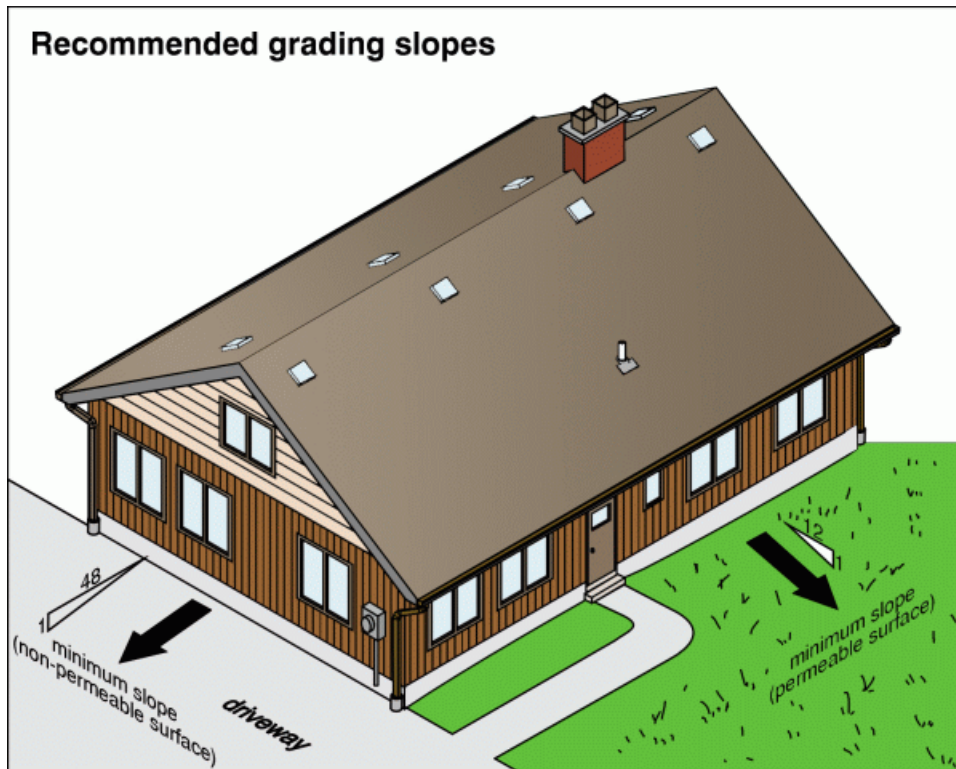
Repair the driveway slope on the west and north sides of the house at the foundation. Any gaps between the driveway and the foundation should be sealed.

Implication(s): Chance of water damage to structure, finishes and contents

Location: West North Exterior Driveway

Task: Improve/correct

Time: As soon as practical



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30.



31.



32.



33.

LANDSCAPING \ Retaining wall

16. Condition: • [Leaning](#)

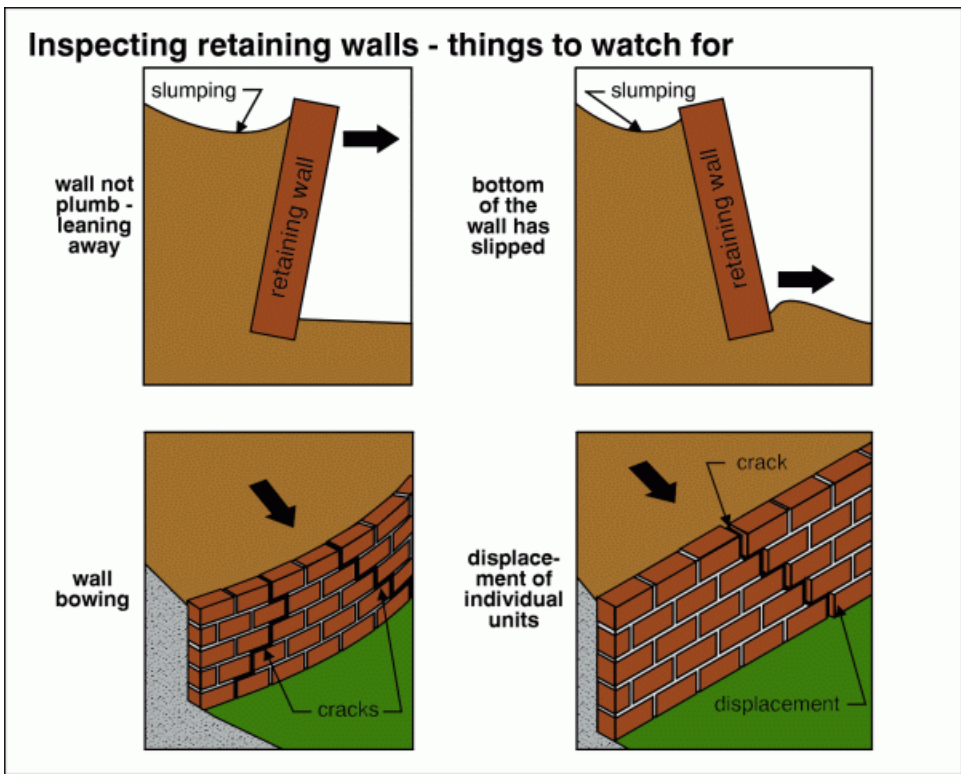
Repair the retaining along the east side of the driveway as required.

Implication(s): Weakened structure | Chance of movement

Location: South Exterior Yard

Task: Repair

Time: As soon as practical



34. Leaning

17. Condition: • [Leaning](#)

Repair the dry-laid stone retaining wall at the rear of the house that has deteriorated and is leaning into the rear yard.

Implication(s): Weakened structure | Chance of movement

Location: North Exterior Yard

Task: Repair

Time: As soon as practical

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35. Leaning



36. Leaning



37. Leaning

GARAGE \ Floor

18. Condition: • [Cracked](#)

Monitor the crack in the garage floor slab for an increase in width.

Implication(s): Uneven floors

Location: Detached Garage

Task: Repair

Time: As required

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38. Cracked



39. Cracked

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#) • Steel columns • Steel beams (girders) • Subfloor - plank

Exterior wall construction: • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • Rafters/ceiling joists • [Plank sheathing](#)

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • New finishes/paint • Insulation

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 100 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components • Attic load bearing components concealed by insulation cannot be traversed

Recommendations / Observations

FOUNDATIONS \ General notes

19. Condition: • Typical minor cracks

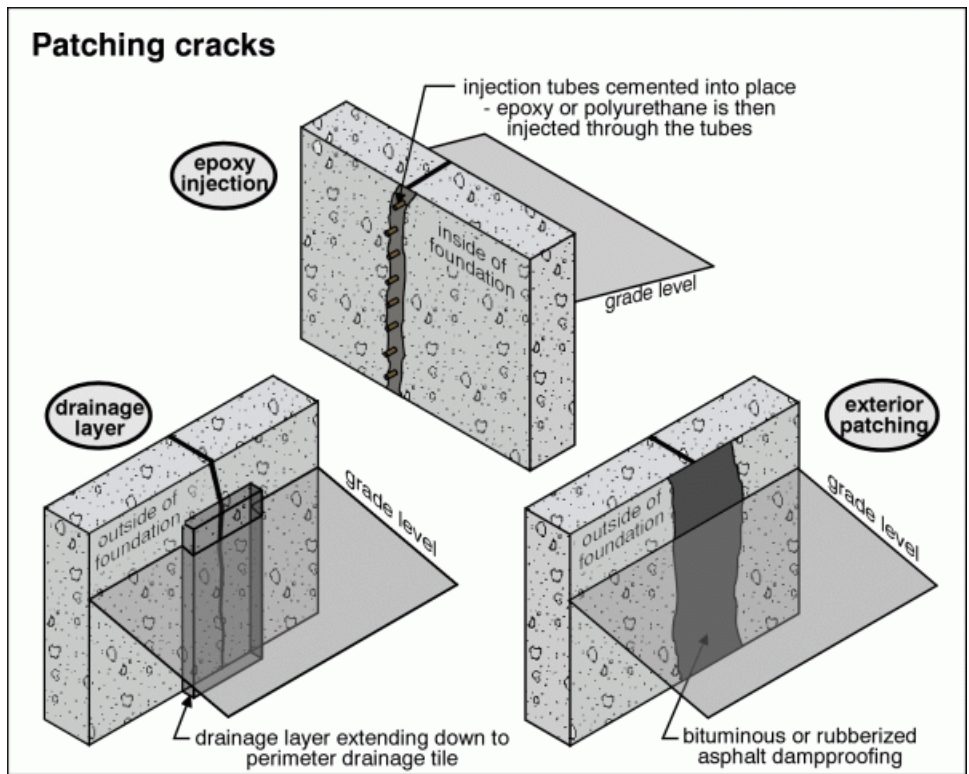
Monitor the hairline shrinkage crack in the west foundation wall of the house. The crack is not wide enough to insert a 1.5 mm allen key. It must be repaired if the crack increases to 6.0 mm in width or leaks.

Implication(s): Chance of water entering building

Location: West Basement Foundation

Task: Monitor

Time: Ongoing



40. Typical minor cracks



41. Typical minor cracks

ROOF FRAMING \ Rafters/trusses

20. Condition: • [Too small or overspanned](#)

The framing for the garage roof is not standard, as it is overspanned. Minor deflection was observed in the framing members during the inspection. Monitor the roof framing for settlement and repair as required.

Implication(s): Chance of structural movement

Location: Detached Garage Roof

Task: Repair

Time: As required

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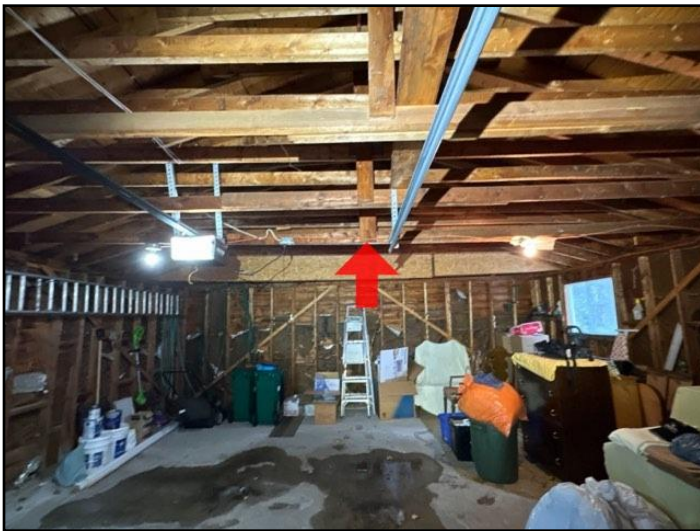
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42. Too small or overspanned



43. Too small or overspanned



44. Too small or overspanned



45. Too small or overspanned

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Description

Service entrance cable and location: • [Overhead aluminum](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location: • [Fuses - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution panel rating: • [125 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#) • [Ungrounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - exterior](#) • [GFCI - panel](#) • AFCI - panel

Smoke alarms (detectors): • None noted

Carbon monoxide (CO) alarms (detectors): • None noted

Limitations

Inspection limited/prevented by: • Storage • Insulation • AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner.

Panel covers: • Disconnect covers are not removed by the building inspector

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Remote control devices • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms

Recommendations / Observations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

21. Condition: • [Branches / vines interfering with wires](#)

Remove the tree branches over growing the hydro entrance at the side of the house.

Implication(s): Damage to wire | Electric shock | Interruption of electrical service

Location: Northeast Exterior Yard

Task: Improve/correct

Time: As soon as practical



46. Branches / vines interfering with wires

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

22. Condition: • [Openings in panel](#)

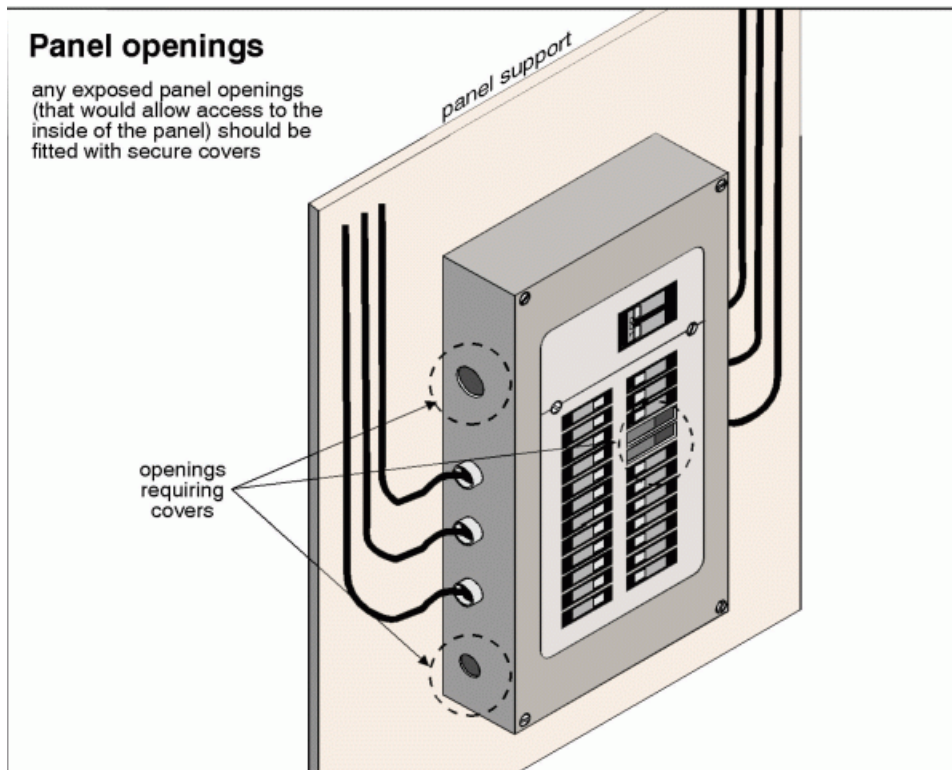
Seal the unprotected opening at the bottom of the electric panel.

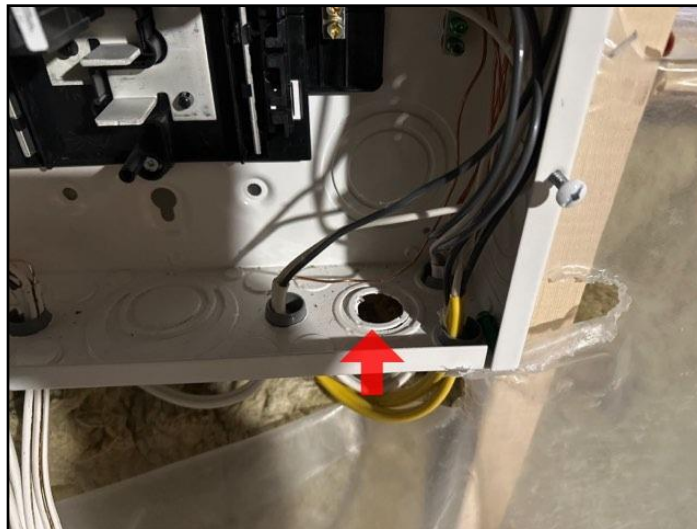
Implication(s): Electric shock | Fire hazard

Location: North Basement Furnace Room

Task: Repair

Time: As soon as practical





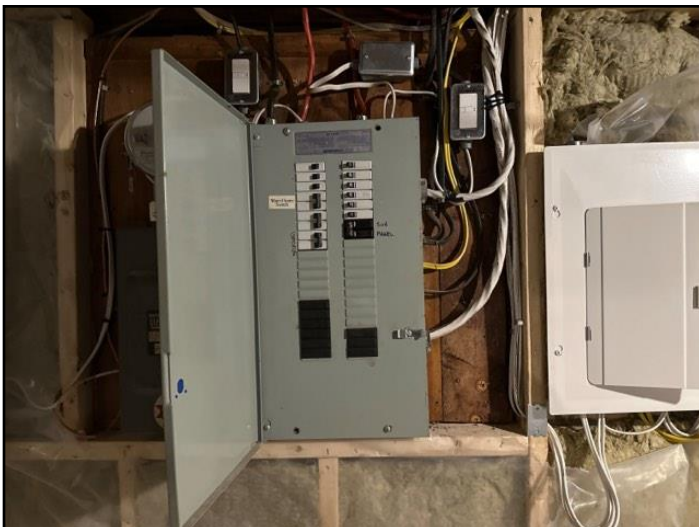
47. Openings in panel

23. Condition: • Panel screws can only be blunt end screws.
Provide the missing screws for the original panel cover.

Location: North Basement Furnace Room

Task: Provide

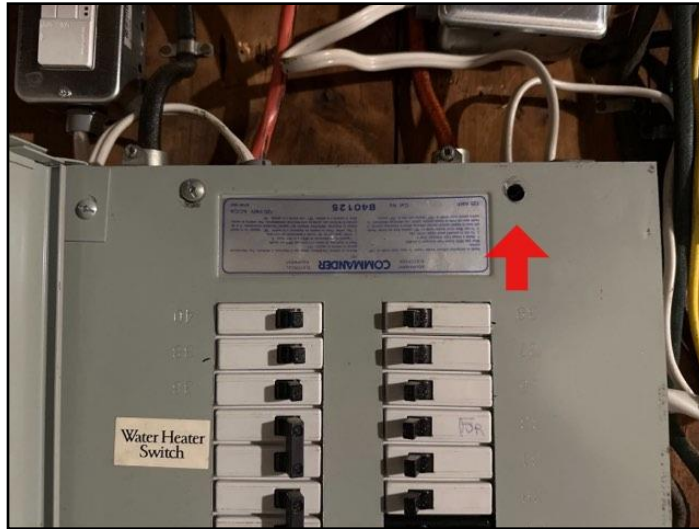
Time: As soon as practical



48. Panel screws can only be blunt end screws.



49. Panel screws can only be blunt end screws.



50. Panel screws can only be blunt end screws.

SERVICE BOX, GROUNDING AND PANEL \ Panel wires

24. Condition: • [Sheathing not removed](#)

The sheathing should be removed from the wires inside the electric panel.

Implication(s): Fire hazard

Location: North Basement Furnace Room

Task: Improve/correct

Time: As required



51. Sheathing not removed

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

25. Condition: • [Modified or added wiring](#)

Request a copy of the Electric Safety Authority (E.S.A.) inspection certificate from the seller for the modified and added wiring for the recent renovations.

Location: Basement First Floor Attic

Task: Request information from the seller

Time: At this time



52. Modified or added wiring



53. Modified or added wiring

DISTRIBUTION SYSTEM \ Outlets (receptacles)

26. Condition: • [Ground needed for 3-slot outlet](#)

The 3-prong outlets in the dining room, living room, and first-floor bedrooms are not grounded. The ground slots in the outlets should be sealed off, or the outlets should be changed to a two-prong ungrounded model.

Implication(s): Electric shock

Location: Various First Floor

Task: Improve/correct

Time: As required



54. Ground needed for 3-slot outlet



55. Ground needed for 3-slot outlet

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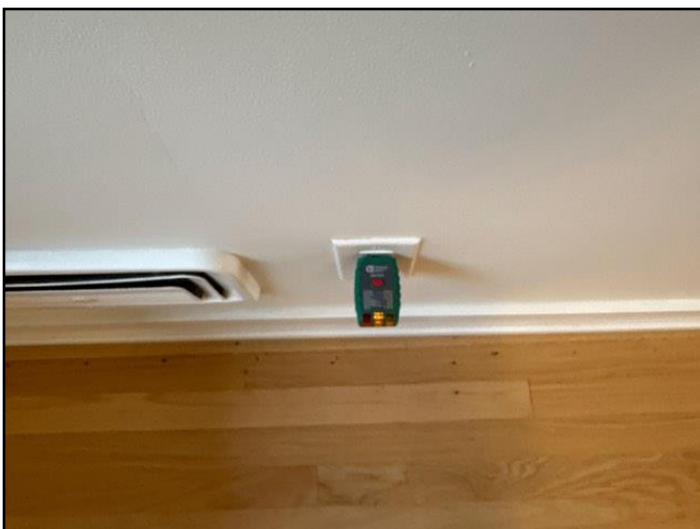
REFERENCE



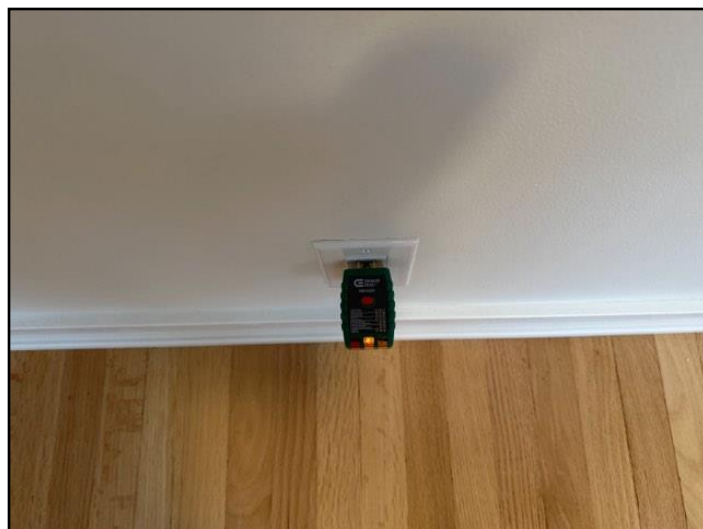
56. Ground needed for 3-slot outlet



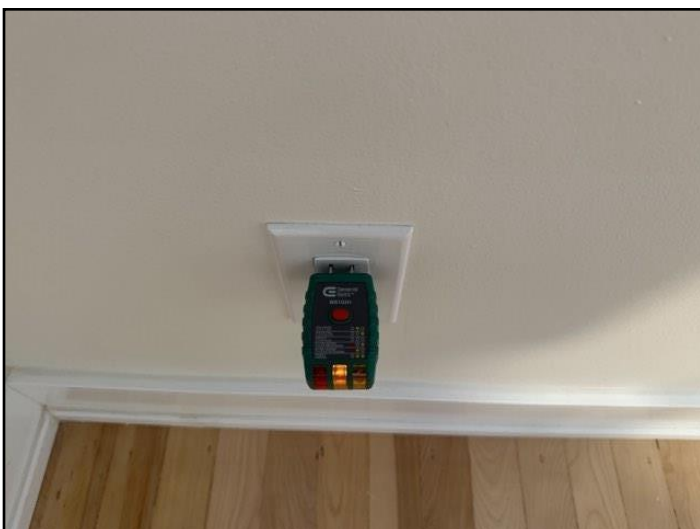
57. Ground needed for 3-slot outlet



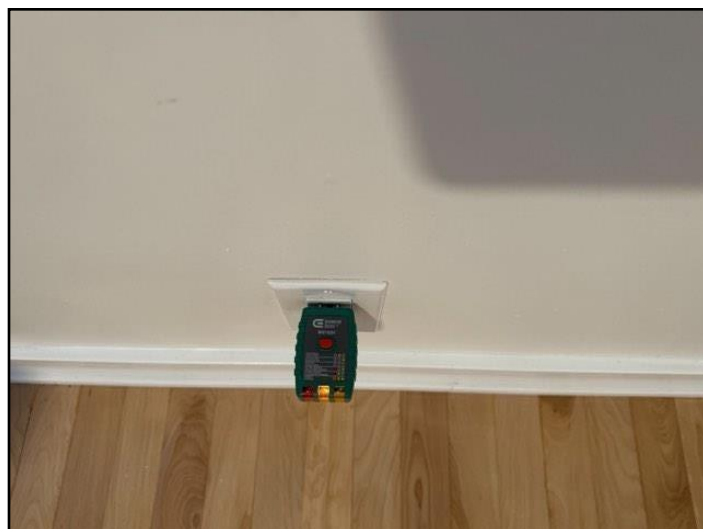
58. Ground needed for 3-slot outlet



59. Ground needed for 3-slot outlet



60. Ground needed for 3-slot outlet



61. Ground needed for 3-slot outlet

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

27. Condition: • Missing

Provide the missing smoke and CO detectors in the house upon possession.

Implication(s): Safety issue

Location: Basement First Floor

Task: Provide

Time: Upon possession

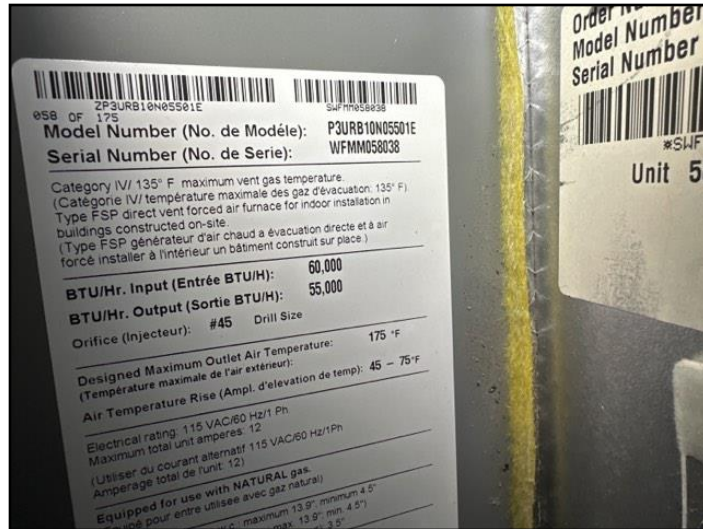


62. *Missing*

Description

Heating system type:

- [Furnace](#)



63. Furnace

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Combustion air source: • Outside - sealed combustion

Approximate age: • [20 years](#)

Main fuel shut off at: • Meter

Failure probability: • [High](#)

Fireplace/stove: • None

Mechanical ventilation system for building: • None

Location of the thermostat for the heating system: • First Floor

Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

Not included as part of a building inspection: • Heat exchangers

Recommendations / Observations

FURNACE \ General notes

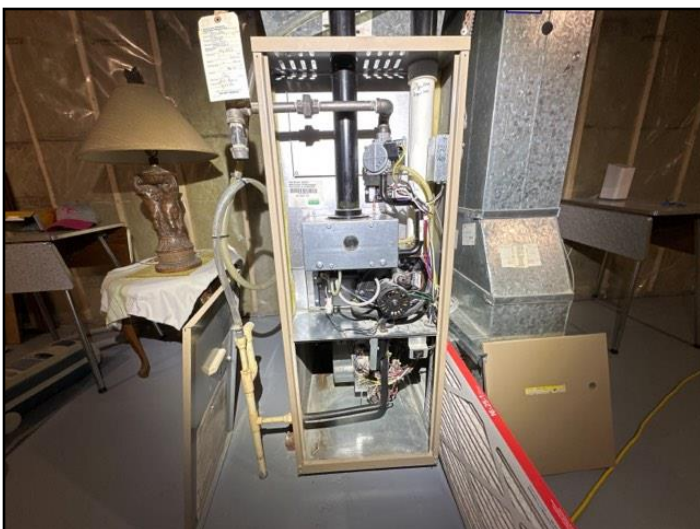
28. Condition: • Service Furnace

The furnace should be serviced annually in the fall before the start of the heating season.

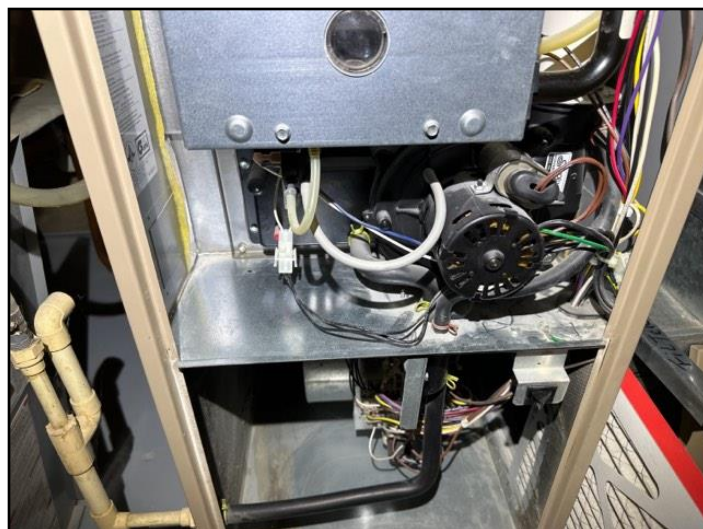
Location: North Basement Furnace Room

Task: Service

Time: Annually



64. Service Furnace



65. Service Furnace



66. Service Furnace

FURNACE \ Life expectancy

29. Condition: • [Near end of life expectancy](#)

The furnace should be budgeted for replacement due to the age and condition of the unit.

Implication(s): Equipment failure | No heat for building

Location: North Basement Furnace Room

Task: Replace

Time: As required



67. Near end of life expectancy



68. Near end of life expectancy

FURNACE \ Filter

30. Condition: • [Dirty](#)

The furnace filter should be changed every month. Use 16"x 25"x 1" low restriction merv 8 filters when changing. The arrow on the filter should point towards the furnace.

Implication(s): Increased heating costs | Reduced comfort

Location: North Basement Furnace Room

Task: Replace

Time: Monthly



69. Dirty

GAS FURNACE \ Gas piping

31. Condition: • [Inadequate support](#)

Provide additional support for the gas line running along the east side of the house.

Implication(s): Equipment not operating properly | Fire or explosion

HEATING

1 INSPECTION WAY, Nepean, ON November 22, 2023

Report No. 3553, v.2

www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

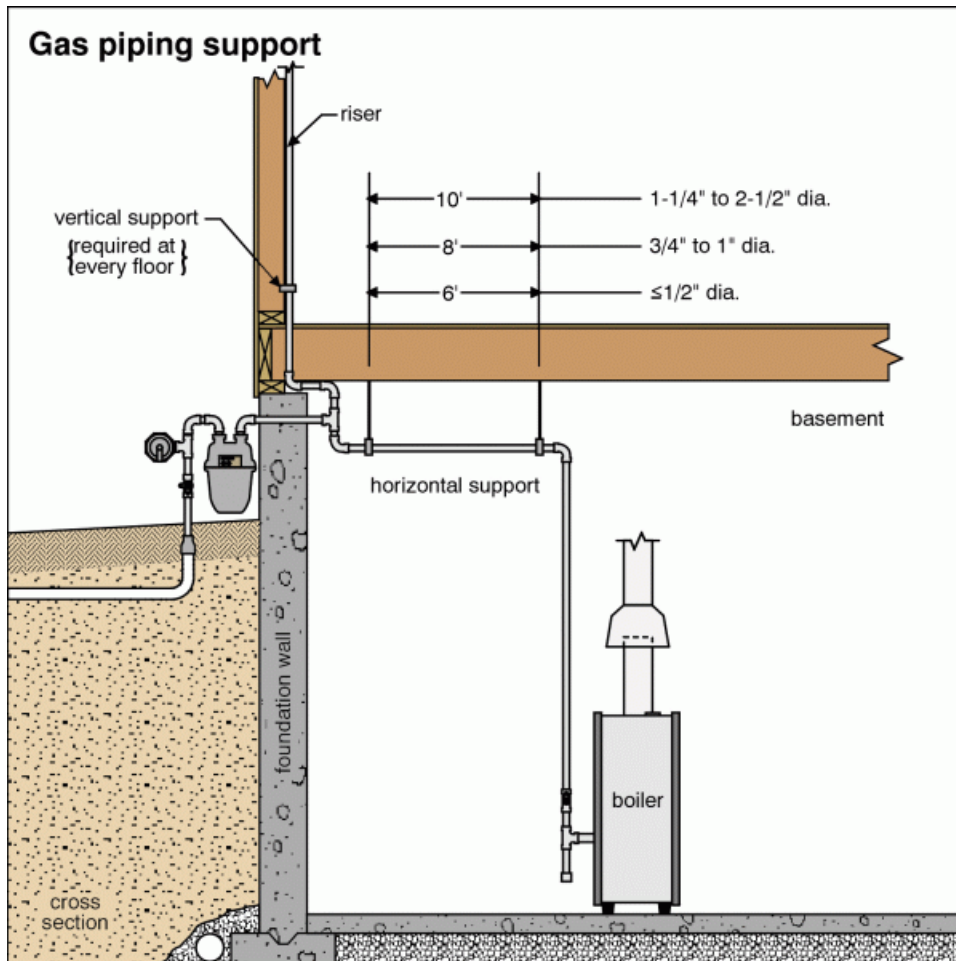
INTERIOR

REFERENCE

Location: East Foundation Exterior Wall

Task: Improve/correct

Time: Less than 1 year



70. Inadequate support



71. Inadequate support

GAS FURNACE \ Venting system

32. Condition: • Exhaust vent missing insulation

The high-efficiency furnace exhaust vent extends over 12" on the house's exterior and needs to be insulated.

Location: East Exterior Wall

Task: Provide

Time: Spring



72. Exhaust vent missing insulation

GAS FURNACE \ Mid- and high-efficiency gas furnace

33. Condition: • [Condensate problems](#)

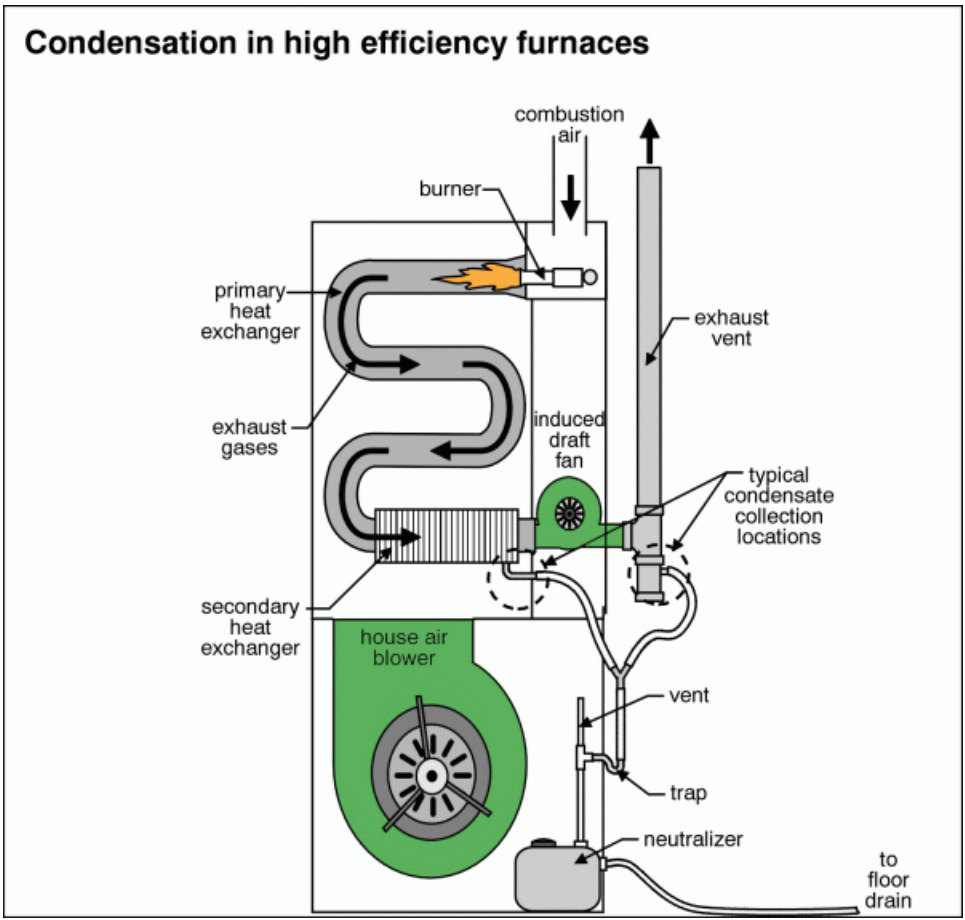
Provide an automatic condensation pump for the HVAC system when replacing the furnace or installing an A/C system.

Implication(s): Chance of water damage to structure, finishes and contents | Reduced system life expectancy

Location: North Basement Furnace Room

Task: Provide

Time: As required



73. Condensate problems

CHIMNEY AND VENT \ Masonry chimney

34. Condition: • [Settling or leaning](#)

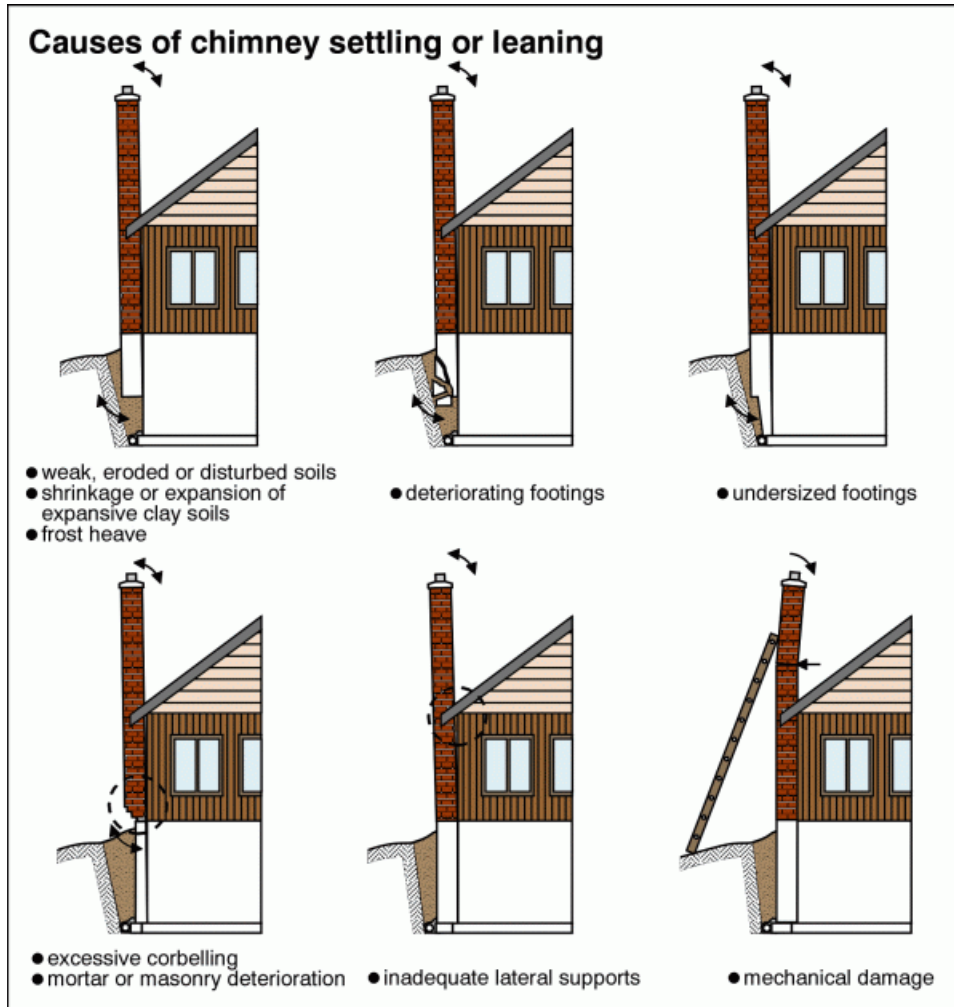
The chimney added on the east side of the house at the south corner is settling and leaning away from the home. The chimney should be removed, and the hole in the wall for the flue sealed.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of chimney movement | Hazardous combustion products entering home

Location: East Exterior Foundation

Task: Remove

Time: As soon as practical



HEATING

1 INSPECTION WAY, Nepean, ON November 22, 2023

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www.abinspections.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

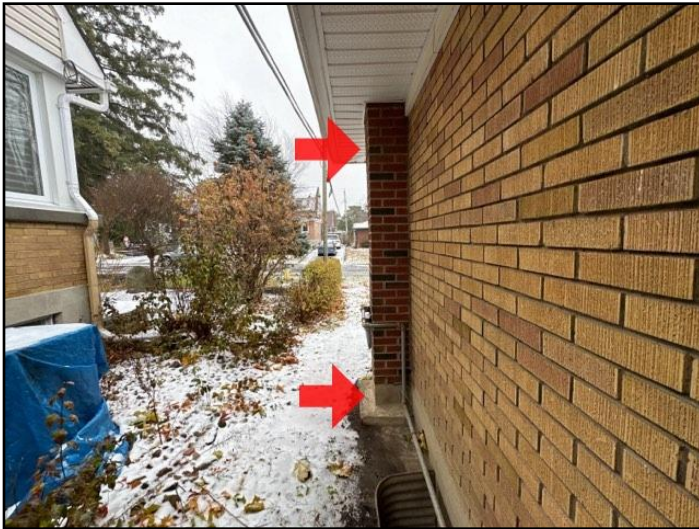
HEATING

INSULATION

PLUMBING

INTERIOR

REFERENCE



74. Settling or leaning



75. Settling or leaning



76. Settling or leaning



77. Settling or leaning

Description

Attic/roof insulation material: • [Glass fiber](#) • [Cellulose](#)

Attic/roof insulation amount/value: • [R-24](#)

Attic/roof air/vapor barrier: • [Kraft paper](#)

Attic/roof ventilation: • [Roof vent](#)

Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • [R-8](#)

Wall air/vapor barrier: • Kraft paper

Foundation wall insulation material: • [Mineral wool \(rock wool\)](#)

Foundation wall insulation amount/value: • R-14

Foundation wall air/vapor barrier: • Plastic

Limitations

Inspection limited/prevented by lack of access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Not included as part of a building inspection: • Insulation cannot be disturbed

Recommendations / Observations

ATTIC/ROOF \ Insulation

35. Condition: • [Compressed](#)

Provide additional insulation in the attic where the insulation has been compressed by activity in the attic.

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Throughout First Floor Attic

Task: Improve/correct

Time: Before next winter

INSULATION AND VENTILATION

1 INSPECTION WAY, Nepean, ON November 22, 2023

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SUMMARY

ROOFING

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78. Compressed



79. Compressed



80. Compressed



81. Compressed



82. Compressed

ATTIC/ROOF \ Hatch/Door

36. Condition: • [Not weatherstripped](#)

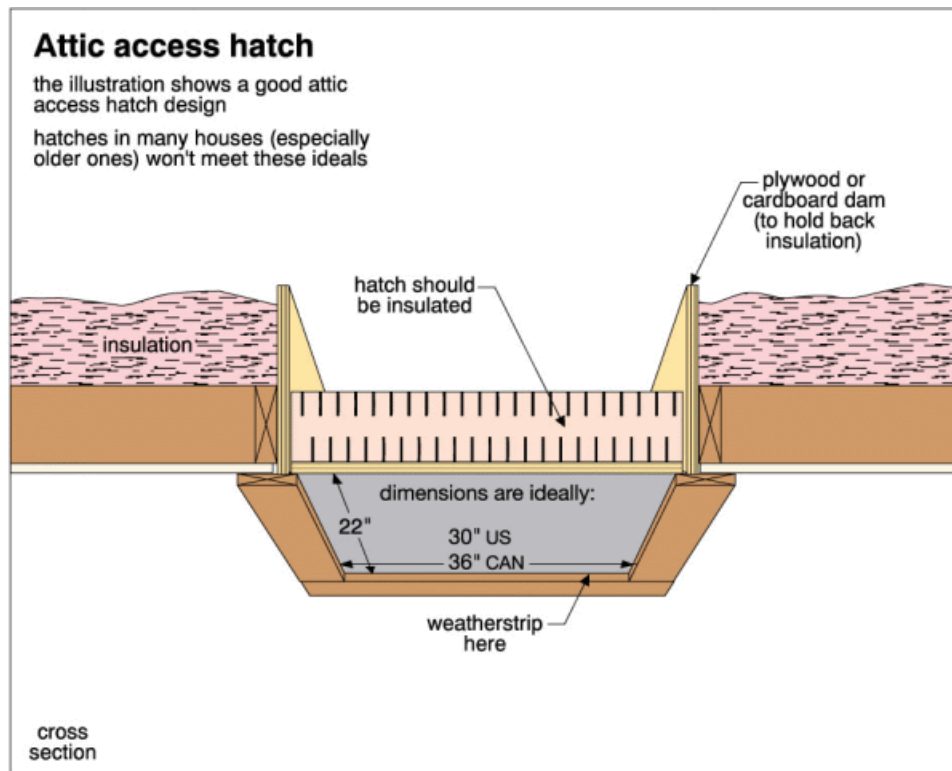
Provide new weather stripping on the attic access hatch frame.

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

Location: Middle Second Floor Attic

Task: Provide

Time: Before winter



83. Not weatherstripped



84. Not weatherstripped

ATTIC/ROOF \ Roof vents

37. Condition: • [Obstructed](#)

The soffits are blocked and not providing the required air intake into the attic. Open the soffits on the exterior of the house and provide the missing insulation baffles for the soffits on the interior of the attic.

Implication(s): Chance of condensation damage to finishes and/or structure

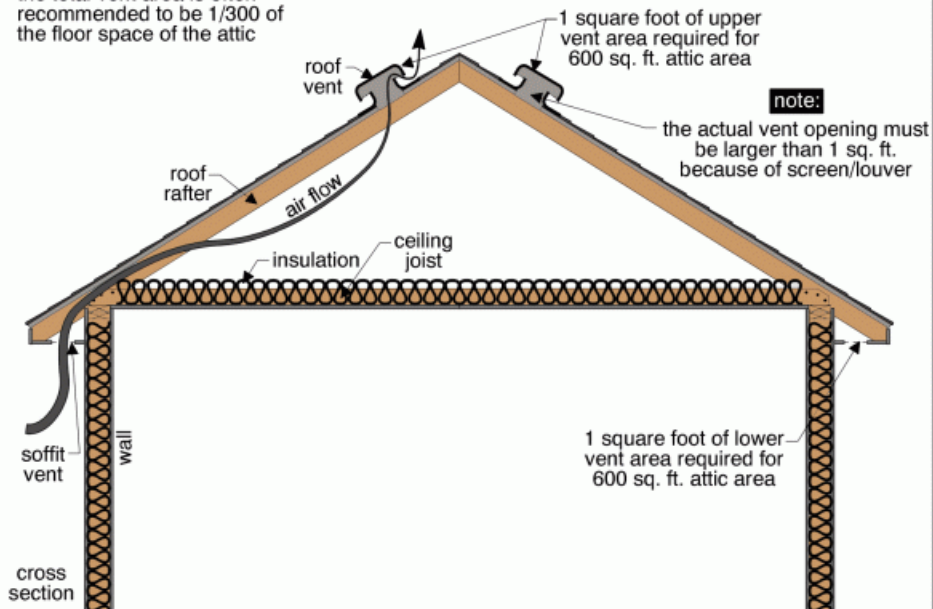
Location: Throughout First Floor Attic Roof

Task: Improve/correct

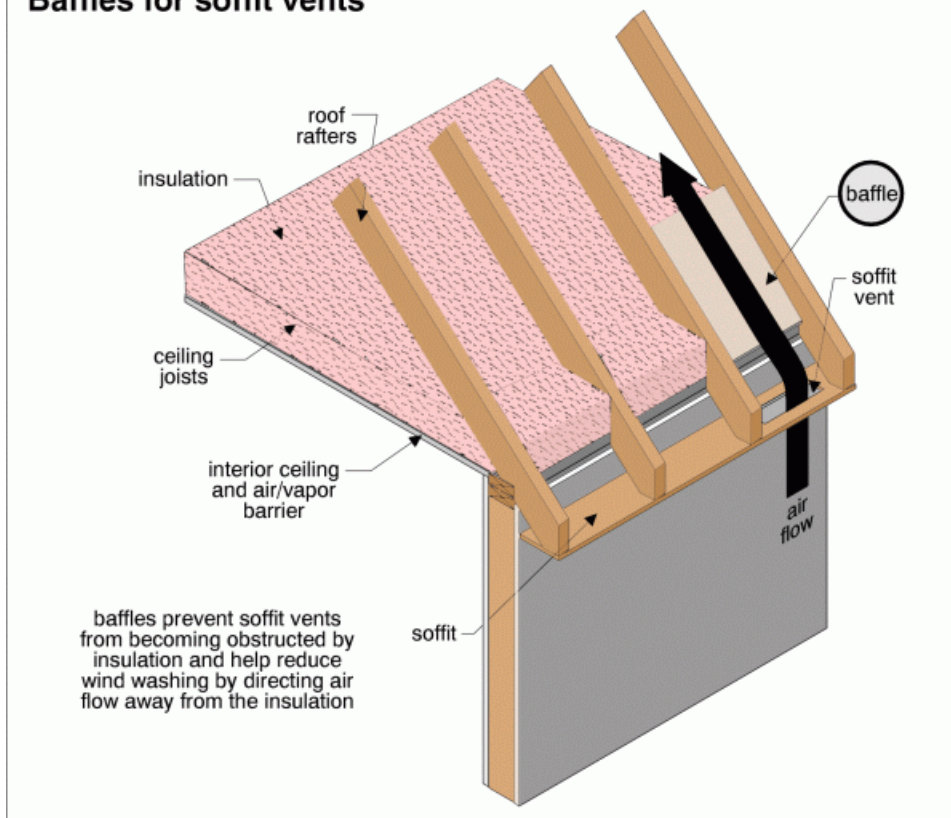
Time: Before next winter

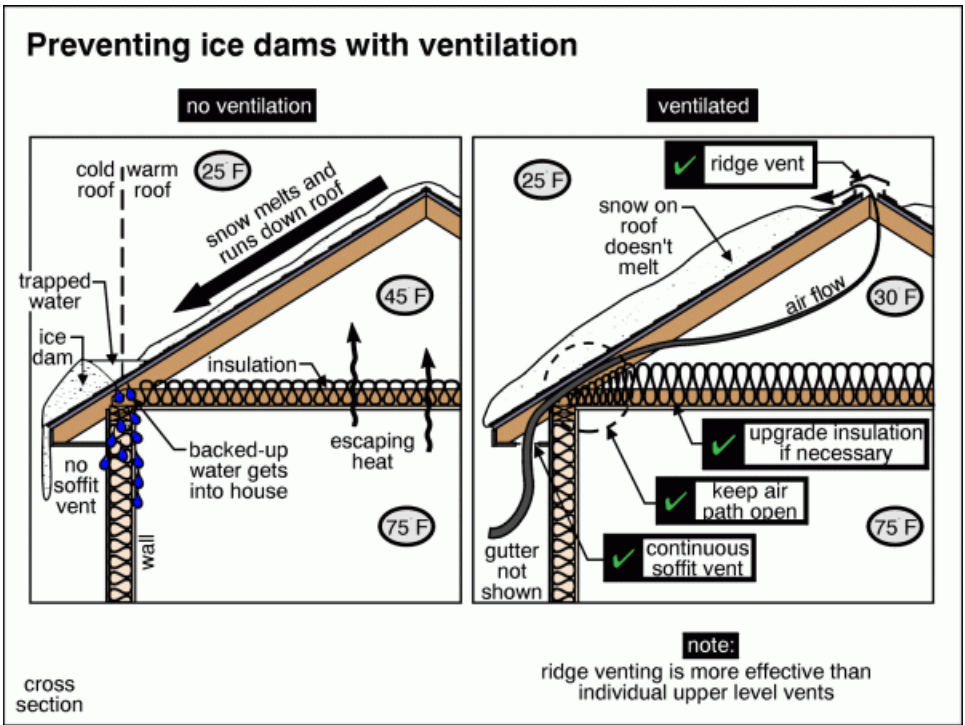
Recommended amount of attic ventilation

the total vent area is often recommended to be 1/300 of the floor space of the attic



Baffles for soffit vents





85. Obstructed



86. Obstructed

INSULATION AND VENTILATION

1 INSPECTION WAY, Nepean, ON November 22, 2023

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

REFERENCE



87. *Obstructed*

Description

Water supply source (based on observed evidence): • Public

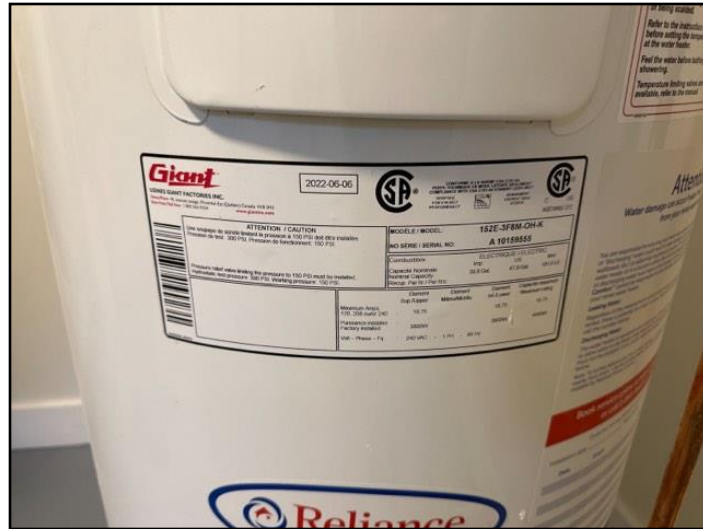
Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Front of the basement

Water heater type:

- Tank



88. Tank

Water heater fuel/energy source: • [Electric](#)

Water heater exhaust venting method: • N/A

Water heater tank capacity: • 50 gallons

Water heater approximate age: • 1 year

Water heater failure probability: • [Low](#)

Hot water temperature (Generally accepted safe temp. is 120° F):

- 120° F



89. 120° F

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#) • [Cast iron](#) • [Galvanized steel](#)

Floor drain location: • Near heating system

Backwater valve: • Not present

Exterior hose bibb (outdoor faucet): • Present

Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection: • Washing machine connections

Recommendations / Observations

WASTE PLUMBING \ Drain piping - installation

38. Condition: • [Clean-outs missing or inaccessible](#)

Provide access to the sewer stack cleanout in the basement bathroom.

Implication(s): Increased maintenance costs | Difficult to service

Location: East Basement Bathroom

Task: Improve/correct

Time: Less than 1 year



90. Clean-outs missing or inaccessible

WASTE PLUMBING \ Drain piping - performance

39. Condition: • Old piping

Cast iron waste plumbing piping was used regularly in residential construction in the Ottawa area into the late 1960s. With the probability of the cast iron pipe deteriorating, some insurance companies are requiring it to be scoped when obtaining a new insurance policy. It is recommended to have the cast iron drain lines scoped at this time.

Location: Basement

Task: Request disclosure from insurance provider

Time: At this time



91. Old piping



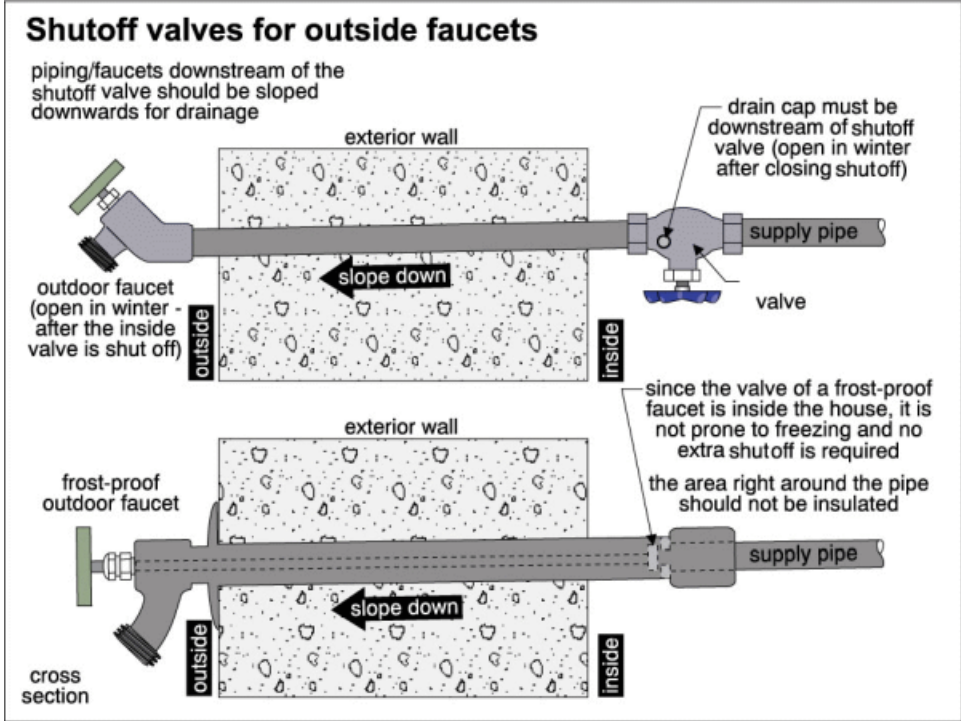
92. Old piping

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

40. Condition: • [Poor slope on frost-free bib/bibb \(outdoor faucet\)](#)

The exterior hose bib on the east side of the house at the south corner has been installed horizontally instead of vertically. This will prevent the hose bib from draining correctly. Ensure that the interior shut-off valve is turned off and drained for the winter.

Implication(s): System inoperative
Location: East Foundation Exterior Wall
Task: Repair
Time: Before using



93. Poor slope on frost-free bib/bibb (outdoor...)

Description

Major floor finishes: • [Hardwood](#) • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • [Casement](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • [Metal](#)

Kitchen ventilation: • Range hood • Discharges to exterior

Bathroom ventilation: • Exhaust fan • Window

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations

Inspection limited/prevented by: • New finishes/paint

Not included as part of a building inspection: • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Window coatings and seals between panes of glass

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations / Observations

STAIRS \ Handrails and guards

41. Condition: • [Missing](#)

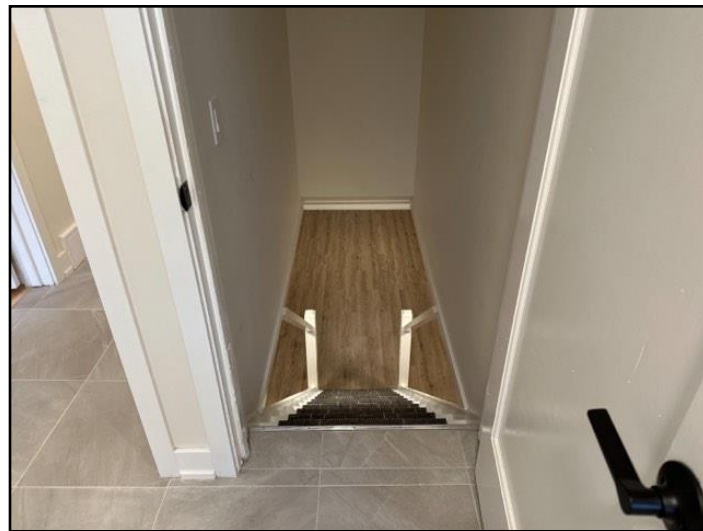
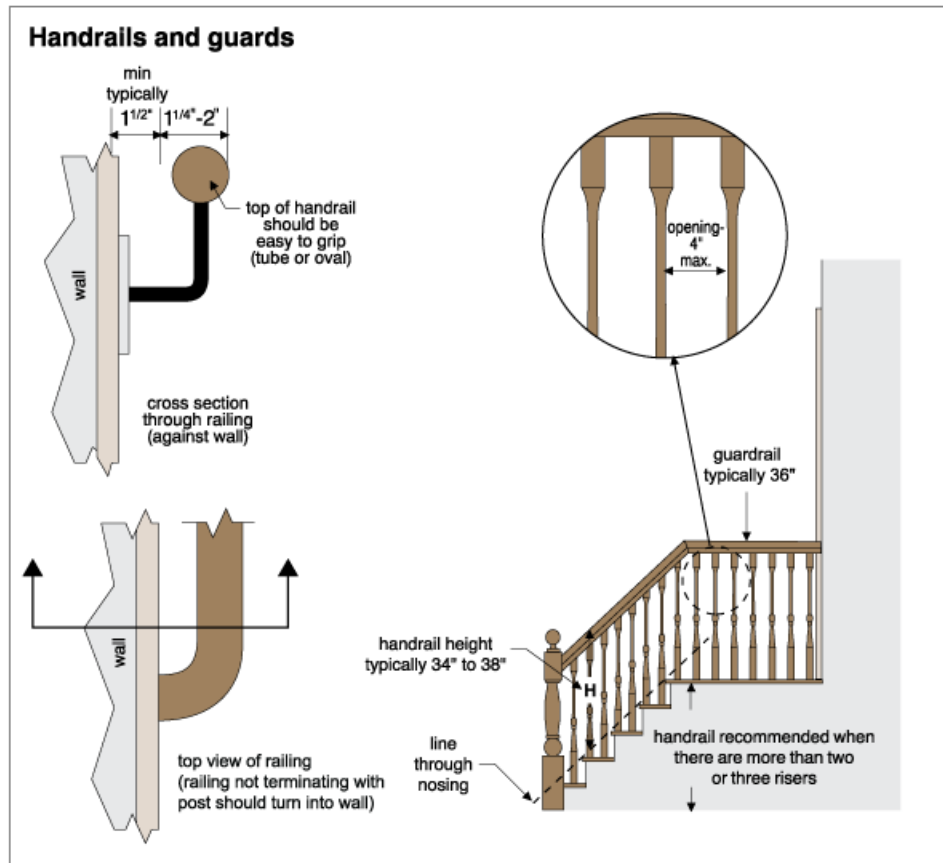
Install the missing sections of the handrail for the basement stairs.

Implication(s): Fall hazard

Location: Middle Basement Staircase

Task: Provide

Time: Upon possession



94. Missing

EXHAUST FANS \ General notes

42. Condition: • Inoperative

Repair the first-floor bathroom exhaust fan that would not operate during the inspection and did not vent to the house's exterior.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: East First Floor Bathroom

Task: Repair

Time: Upon possession



95. Inoperative



96. Spare photos

APPLIANCES \ Dryer

43. Condition: • Clean dryer vent

The dryer exhaust venting system needs to be cleaned regularly.

Location: West Foundation Exterior Wall

Task: Regular maintenance

Time: Ongoing



97. Clean dryer vent

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS