



# YOUR INSPECTION REPORT

*The best home inspection experience available.*

PREPARED BY:

Mark Bowditch



FOR THE PROPERTY AT:

1 INSPECTION WAY

Ottawa, ON

PREPARED FOR:

ACCURATE BUILDING INSPECTIONS

INSPECTION DATE:

Thursday, September 21, 2023



**ACCURATE  
BUILDING INSPECTIONS**

Accurate Building Inspections Inc.

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# SUMMARY

1 INSPECTION WAY, Ottawa, ON September 21, 2023

Report No. 3484, v.2

[www.abinspections.ca](http://www.abinspections.ca)

SUMMARY

ROOFING

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The Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The deficiencies listed below, and the components related to these, should be further evaluated and repaired by a licensed contractor or professional. This allows a specialist to fully evaluate the system and components, and identify issues beyond our scope of work.

There are some important things you should do when taking possession of a building. These are detailed in the Priority Maintenance document, which you can access by clicking on the link below.

No building is perfect, and we will have improvements to recommend in virtually every building. Many clients are interested in knowing how their building stacks up to other buildings of a similar age and type. The rating scale below provides some insight into that.

[ ] [ ] [ X ] [ ] [ ] [ ] [ ] [ ] [ ] [ ]  
BELOW AVERAGE TYPICAL ABOVE AVERAGE

The house is well constructed. The house has been completely lacking maintenance on the interior and exterior. The renovations on the interior and exterior of the house have been very poorly done.

[Priority Maintenance Items](#)

## Exterior

### GARAGE \ Ceilings and walls

**Condition:** • Not gastight

Seal around the garage door frame to the house. Seal the drywall at the foundation walls to the house. Repair any holes in the drywall and any loose drywall tape and mudding on the walls and ceiling. Seal between the studs on the ceiling of the garage.

**Implication(s):** Hazardous combustion products entering home

**Location:** West First Floor Garage

**Task:** Repair

**Time:** Before winter

## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • [The house is equipped with a Federal Pacific Electrics Stab-Lok circuit breakers.](#)

The house is equipped with a Federal Pioneer Electric's "Stab-Lok" breaker panel. The breakers on these panels should be tested to determine that they are functioning properly. If the breakers are not functioning properly, they may fail to trip.

**Location:** West Basement Storage Room

**Task:** Further evaluation by an electrician

**Time:** At this time

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## DISTRIBUTION SYSTEM \ Wiring (wires) - installation

**Condition:** • [Modified or added wiring](#)

Request a copy of the Electric Safety Authority (E.S.A.) inspection certificate from the seller for the modified and/or added wiring after the original construction of the house. The visible wiring that has been modified in the basement is poorly done.

**Location:** Basement First Floor

**Task:** Request documentation

**Time:** At this time

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Provide the missing GFCI outlet for the basement bathroom.

**Implication(s):** Electric shock

**Location:** West Basement Bathroom

**Task:** Provide

**Time:** Less than 1 year

## DISTRIBUTION SYSTEM \ Switches

**Condition:** • 3-way not working as intended

Repair the switches in the basement bathroom. The 3-way switch is not wired correctly and there is not a switch that is accessible within 5 feet of the door opening.

**Implication(s):** Nuisance | Fall hazard

**Location:** West Basement Bathroom

**Task:** Repair

**Time:** Upon possession

## Heating

### FURNACE \ General notes

**Condition:** • Service Furnace

The furnace has been lacking maintenance and is full of dust and debris. There are signs of a condensation leak at the front of the furnace. The furnace needs to be serviced at this time. The furnace should be serviced annually in the fall before the start of the heating season going forward.

**Location:** West Basement Furnace Room

**Task:** Service

**Time:** At this time

### FIREPLACE \ Gas fireplace or gas logs

**Condition:** • Service gas fireplace

The pilot light for the gas fireplace would not ignite during the inspection. The gas shut-off valve was in the on position.

**Location:** East First Floor Living Room

**Task:** Further evaluation by a specialist

**Time:** At this time

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## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • [Near end of life expectancy](#)

The A/C system should be budgeted for replacement due to the age and condition of the unit.

**Implication(s):** Equipment failure | Reduced comfort

**Location:** South Exterior Yard

**Task:** Replace

**Time:** As required

## Plumbing

### WASTE PLUMBING \ Drain piping - installation

**Condition:** • Bathroom added to house

The basement bathroom was added after original construction of the house. The bathroom would have required a plumbing permit from the City of Ottawa. Request a copy of the permit and all the completed inspection from the seller.

**Location:** West Basement Bathroom

**Task:** Request permit information

**Time:** At this time

### FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**Condition:** • [Leak](#)

Repair the leak from the faucets in the first floor bathroom. The leak is going down into the basement.

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building

**Location:** West First Floor Bathroom

**Task:** Repair

**Time:** At this time

### FIXTURES AND FAUCETS \ Toilet

**Condition:** • [Floor damage suspected](#)

The tile on the first floor of the house has been installed over the original flooring. The tile is not correctly installed and has covered the bottom flange of the toilet. The tile will need to be removed so that the tile goes below the base of the toilet.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** West First Floor Bathroom

**Task:** Repair

**Time:** At this time

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## Interior

### **RECOMMENDATIONS \ General**

**Condition:** • [Pest activity evident](#)

There are signs of extensive pest issues throughout the exterior and interior of the house. Hire an independent pest control contract to evaluate the pest issue to determine if the existing work has been done properly and if there are still pest present in the house.

**Location:** Throughout Exterior Interior

**Task:** Further evaluation by a specialist

**Time:** At this time

This concludes the Summary section.

The remainder of the report describes each of the building systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase building inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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## Description

The home is considered to face: • West

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Aluminum

## Limitations

Inspection performed: • By walking on roof

## Recommendations / Observations

### SLOPED ROOFING \ Asphalt shingles

1. Condition: • [Patched](#)

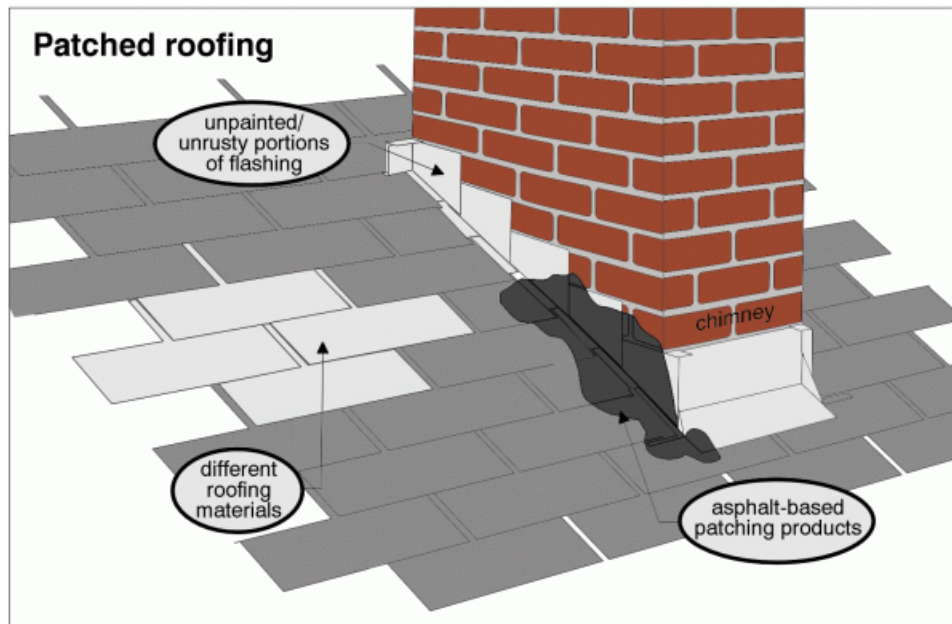
Monitor the patches to the roof on the west side of the house. The patches are present in good condition.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West Second Floor Roof

**Task:** Monitor

**Time:** Ongoing



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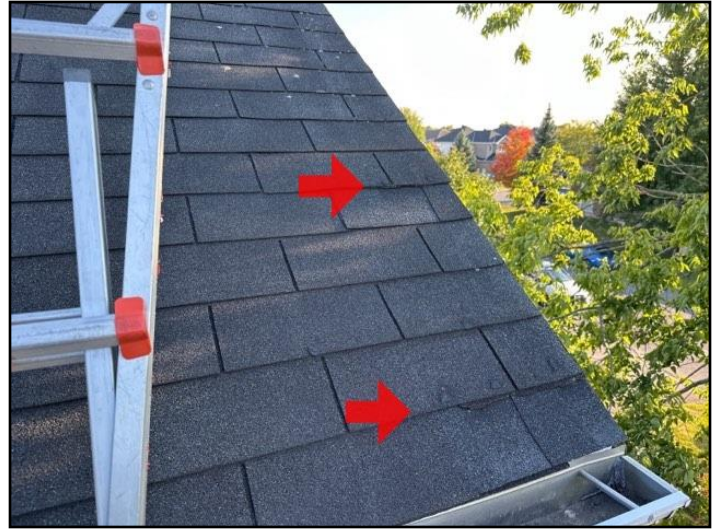
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1. Patched



2. Patched

## SLOPED ROOF FLASHINGS \ Valley flashings

2. Condition: • [Wood joints break into valley](#)

Adjust the valley on the garage roof, when replacing the roof, so that it doesn't drain into the corner of the house.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West Garage Roof

**Task:** Improve/correct

**Time:** When replacing roof



3. Wood joints break into valley



4. Wood joints break into valley

## SLOPED ROOF FLASHINGS \ Roof/wall flashings

3. Condition: • [Damage, loose, open seams, patched](#)

Seal the roof to wall flashing on the front corner of the garage roof.

**Implication(s):** Chance of water damage to structure, finishes and contents

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**Location:** West Garage Roof

**Task:** Repair

**Time:** Before winter



5. Damage, loose, open seams, patched



6. Damage, loose, open seams, patched



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## Description

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout type:** • [Eave mounted](#)

**Downspout discharge:** • [Above grade](#)

**Lot slope:** • [Towards building](#)

**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Aluminum](#)

**Wall surfaces and trim:** • [Vinyl siding](#)

**Wall surfaces - masonry:** • [Brick](#)

**Driveway:** • Asphalt

**Walkway:** • Patio stones

**Deck:** • Raised • Ground level • Wood • Composite

**Porch:** • Concrete

**Exterior steps:** • Concrete • Wood • Composite

**Garage:** • Attached

## Limitations

**Inspection limited/prevented by:** • Storage in garage • Vines/shrubs/trees against wall

**No or limited access to:** • Area below steps, deck, porches

**Exterior inspected from:** • Ground level

**Not included as part of a building inspection:** • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls

## Recommendations / Observations

### **ROOF DRAINAGE \ Downspouts**

**4. Condition:** • [Should discharge 6 feet from building](#)

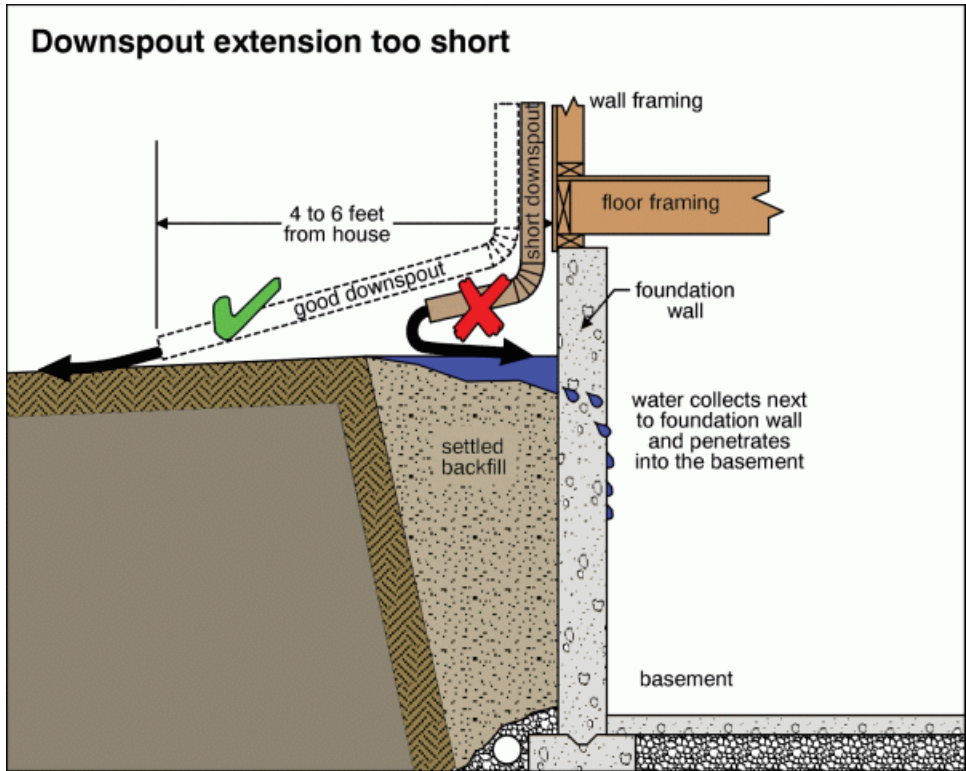
The downspouts at the front and rear of the house should discharge a minimum of 6 feet from the foundation wall.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West East Exterior Yard

**Task:** Improve

**Time:** Before winter



7. Should discharge 6 feet from building



8. Should discharge 6 feet from building

**WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)**

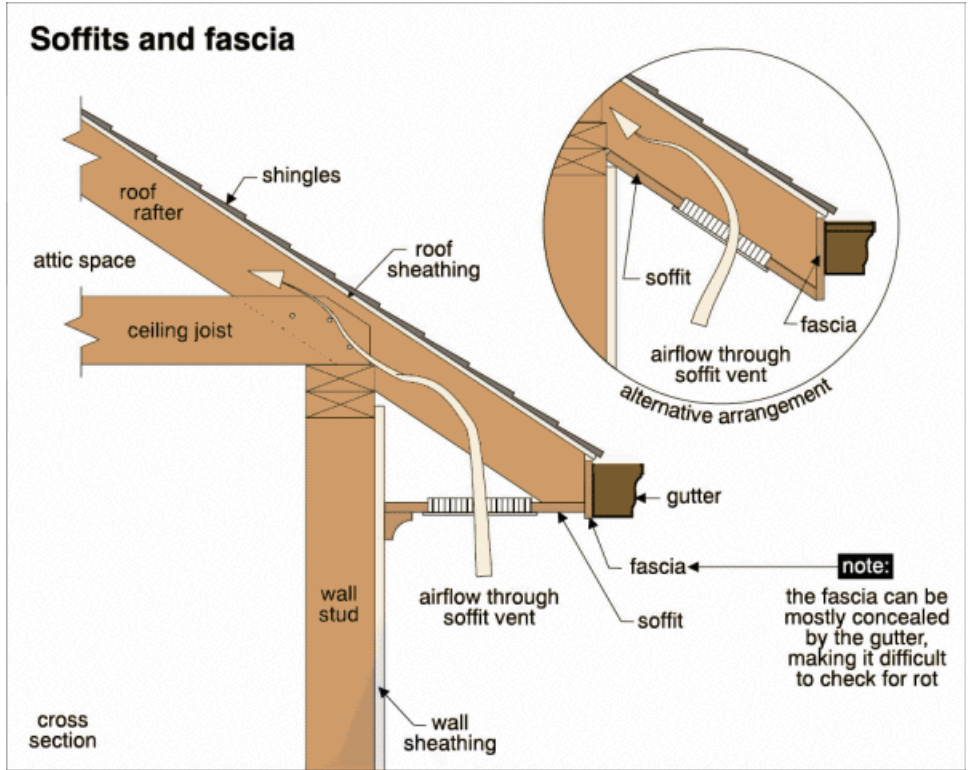
5. Condition: • [Vents - ineffective / missing](#)

Re-direct the exhaust vent in the rear second floor soffits, so the air moves away from the house and not back towards the wall coverings and soffit.

**Implication(s):** Chance of condensation damage to finishes and/or structure | Material deterioration

**Location:** East Second Floor Soffit

Task: Improve  
Time: Before winter



9. Vents - ineffective / missing

**WALLS \ Trim**

6. Condition: • Paint or stain needed

Sand, prime and paint the decorative arch above the front second floor window. Repair any wood rot after sanding and before priming.

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**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** West Second Floor Exterior Wall

**Task:** Regular maintenance

**Time:** Ongoing



10. *Paint or stain needed*

## **WALLS \ Flashings and caulking**

**7. Condition:** • [Caulking missing or ineffective](#)

Provide the missing caulking on the top and side of the light fixtures. Replace any of the loose and cracked caulking on the exterior of the house.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various Exterior Wall

**Task:** Provide Replace

**Time:** As soon as practical



11. *Caulking missing or ineffective*



12. *Caulking missing or ineffective*



13. Caulking missing or ineffective

## EXTERIOR GLASS/WINDOWS \ Window wells

**8. Condition:** • Remove all debris from window well.

Remove the dirt from the rear window well.

**Location:** East Exterior Yard

**Task:** Repair

**Time:** Before winter



14. Remove all debris from window well.

**9. Condition:** • Clean window well

The window well should be cleaned regularly. It should be kept free of debris and not used for storage.

**Location:** East Exterior Yard

**Task:** Regular maintenance

**Time:** Ongoing



15. Clean window well

## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors**

### **10. Condition:** • [No step up into building](#)

Due to the limited clearance between the deck and the door sill, water could leak into the house. Keep the snow and ice cleared away from the door sill during the winter months. The kick plate below the patio door has been patched with a water-resistant membrane, which may indicate they have already had some water infiltration.

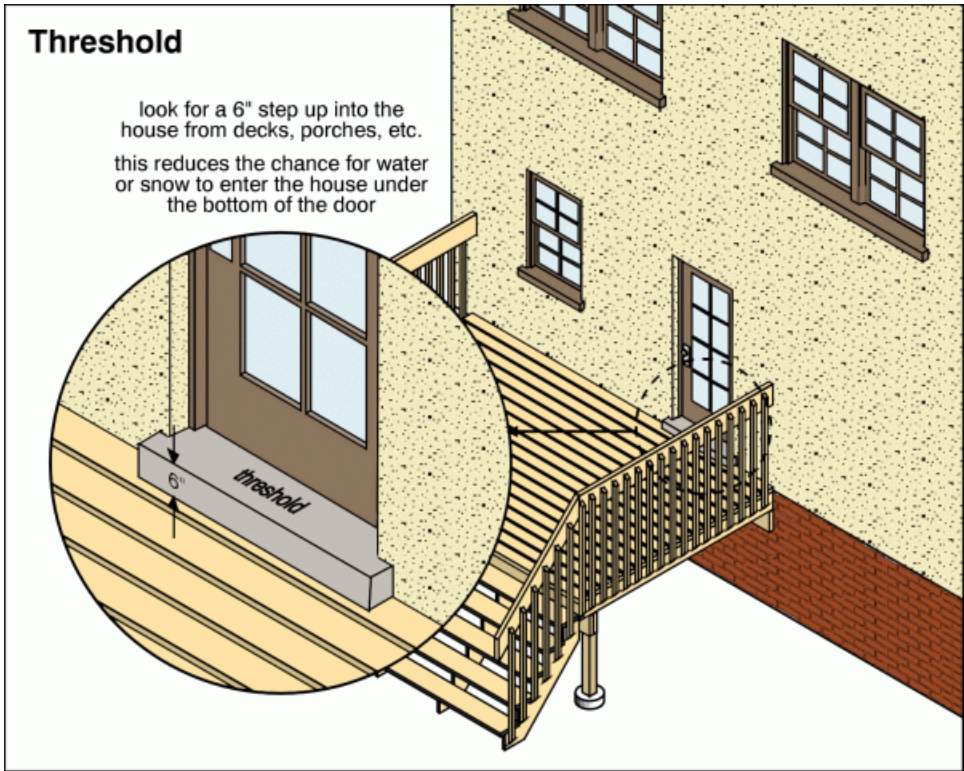
**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** East Exterior Deck

**Task:** Regular maintenance

**Time:** Seasonally

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16. No step up into building



17. No step up into building

**LANDSCAPING \ General notes**

11. Condition: • [Trees or shrubs too close to building](#)

Trim the tree at the front of the house a minimum of 1 meter away from the roof coverings. Remove the tree on the south side of the house. Trim the bushes along the south side of the house away from the exterior wall, gas meter, and A/C coil.

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

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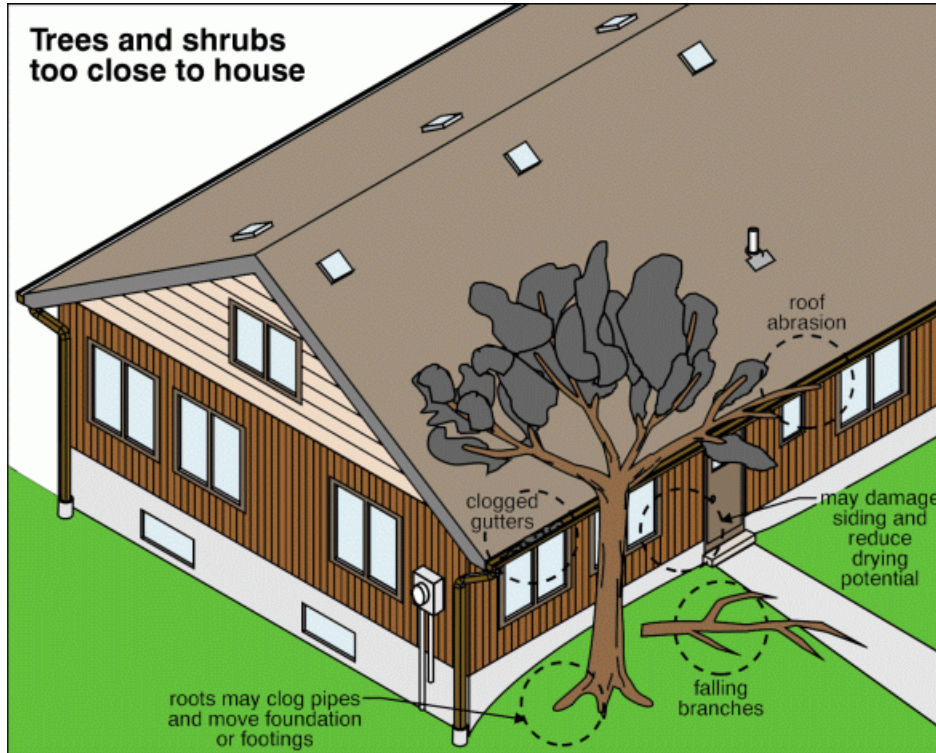
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**Location:** West Exterior Yard

**Task:** Regular maintenance

**Time:** Seasonally



18. Trees or shrubs too close to building



19. Trees or shrubs too close to building



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**20.** *Trees or shrubs too close to building*



**21.** *Trees or shrubs too close to building*



**22.** *Trees or shrubs too close to building*



**23.** *Trees or shrubs too close to building*

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24. Trees or shrubs too close to building

## LANDSCAPING \ Lot grading

### 12. Condition: • [Improper slope or drainage](#)

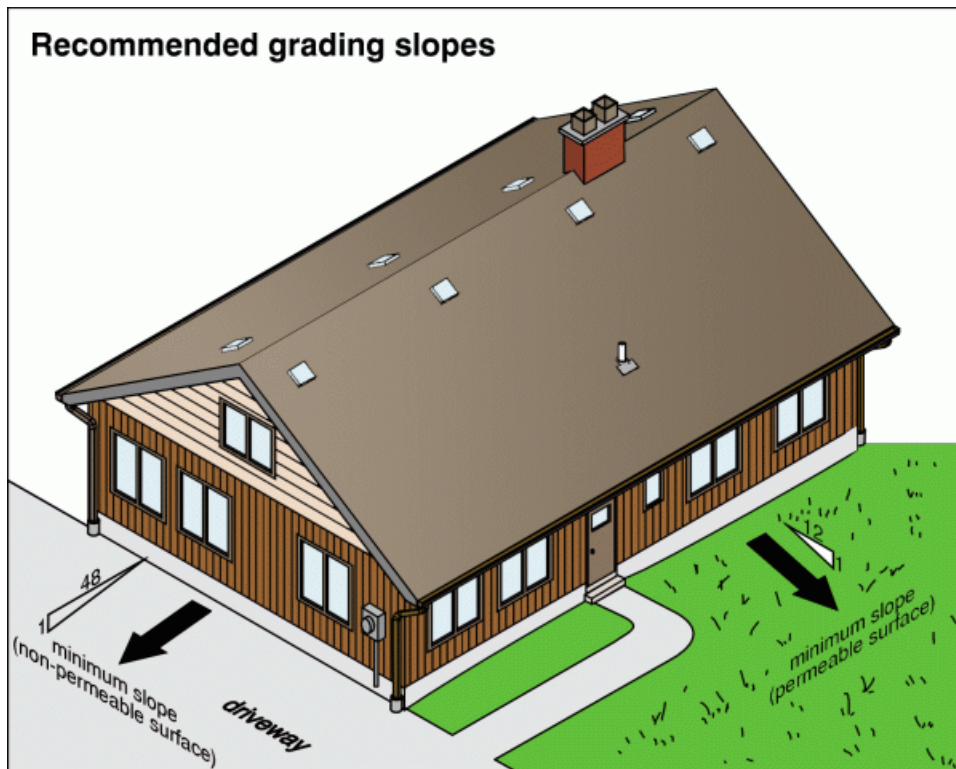
Repair the slope of the ground around the house to limit the amount of water that accumulates against the foundation walls.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West South East Exterior Yard

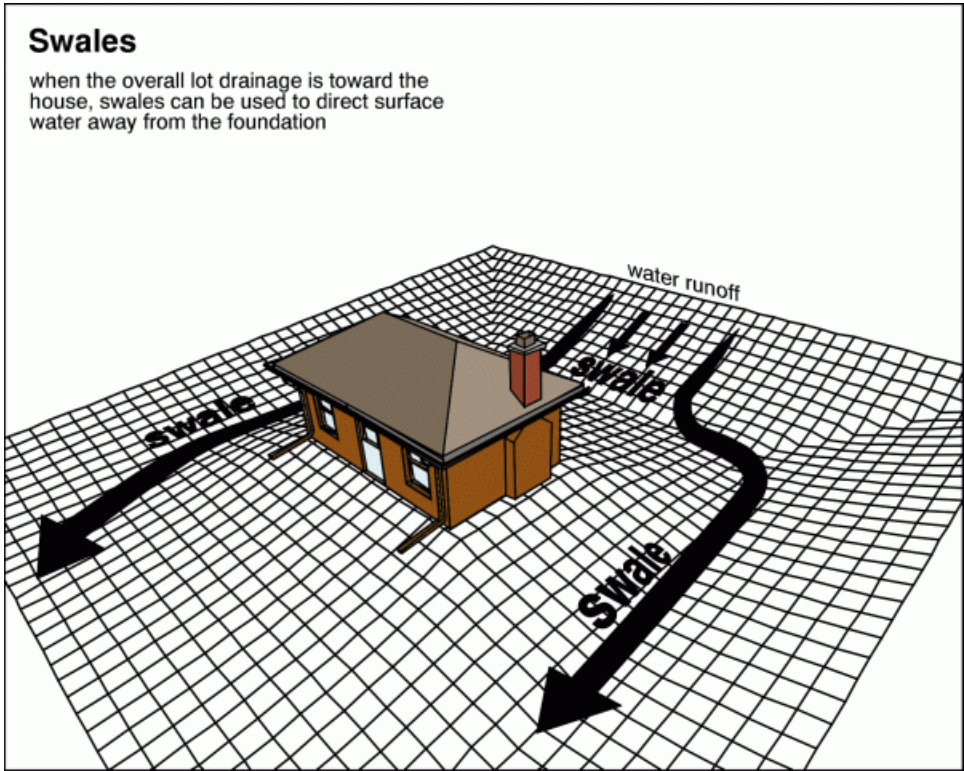
**Task:** Improve/correct

**Time:** Less than 1 year



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25. Improper slope or drainage



26. Improper slope or drainage

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27. Improper slope or drainage



28. Improper slope or drainage



29. Improper slope or drainage

## **GARAGE \ Ceilings and walls**

**13. Condition:** • Not gastight

Seal around the garage door frame to the house. Seal the drywall at the foundation walls to the house. Repair any holes in the drywall and any loose drywall tape and mudding on the walls and ceiling. Seal between the studs on the ceiling of the garage.

**Implication(s):** Hazardous combustion products entering home

**Location:** West First Floor Garage

**Task:** Repair

**Time:** Before winter

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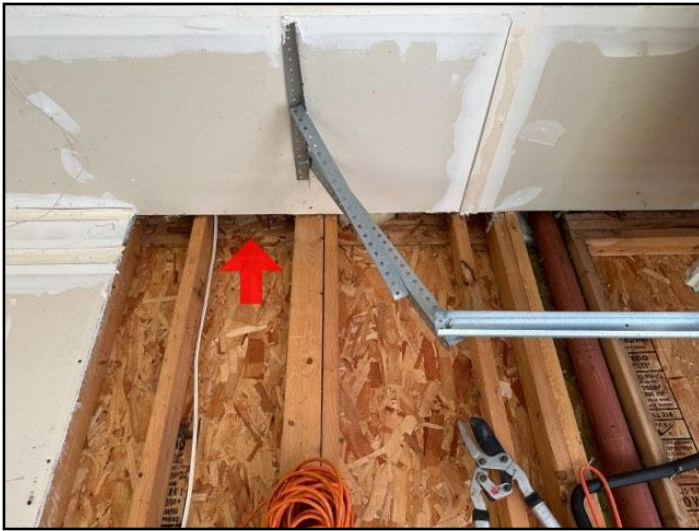
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30. Not gastight



31. Not gastight



32. Not gastight



33. Not gastight

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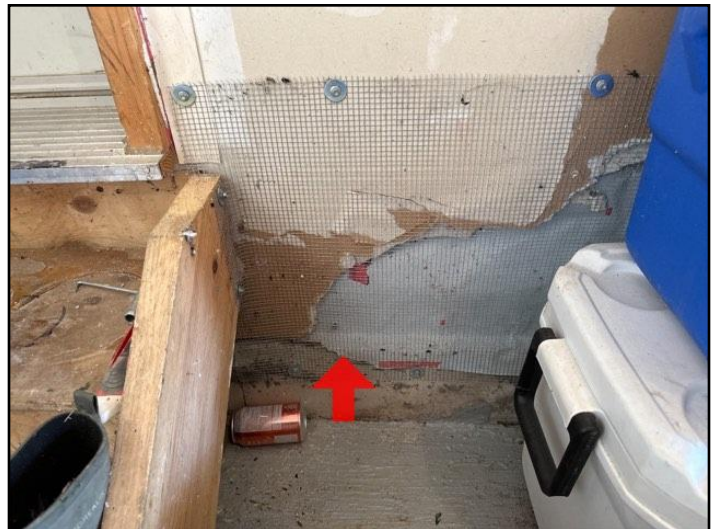
34. Not gastight



35. Not gastight



36. Not gastight



37. Not gastight

## GARAGE \ Floor

### 14. Condition: • [Cracked](#)

Monitor the hairline crack in the garage floor slab. The crack is wide enough to insert a 2.5 mm allen key. If the crack increase to 6 mm in width, it will need to be repaired.

**Implication(s):** Uneven floors

**Location:** West First Floor Garage

**Task:** Monitor

**Time:** Ongoing

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38. Cracked



39. Cracked

## GARAGE \ Door into garage from living space (man-door)

15. Condition: • [Does not close fully](#)

Install and adjust the garage door self closure on the door to the house. The door needs to close and latch fully when opened.

**Implication(s):** Hazardous combustion products entering home

**Location:** West First Floor Garage

**Task:** Repair

**Time:** Before winter



40. Does not close fully

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**Configuration:** • [Basement](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Wood I-joists](#) • Steel columns • Steel beams (girders) • Subfloor - OSB (Oriented Strand Board)

**Exterior wall construction:** • [Wood frame](#) • [Wood frame / Brick veneer](#)

**Roof and ceiling framing:** • [Trusses](#) • [Oriented Strand Board \(OSB\) sheathing](#)

**Party wall:** • [Masonry](#) • [Wood frame](#)

## Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

**Attic/roof space:** • Inspected from access hatch

**Percent of foundation not visible:** • 100 %

**Not included as part of a building inspection:** • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components • Attic load bearing components concealed by insulation cannot be traversed

## Recommendations / Observations

### FOUNDATIONS \ General notes

**16. Condition:** • Typical minor cracks

Monitor the hairline shrinkage crack in the south foundation wall of the house. The crack was not wide enough to insert a 2.0 mm allen key. If the crack increases to 6.0 mm in width, or starts to leak, it will need to be repaired.

**Implication(s):** Chance of water entering building

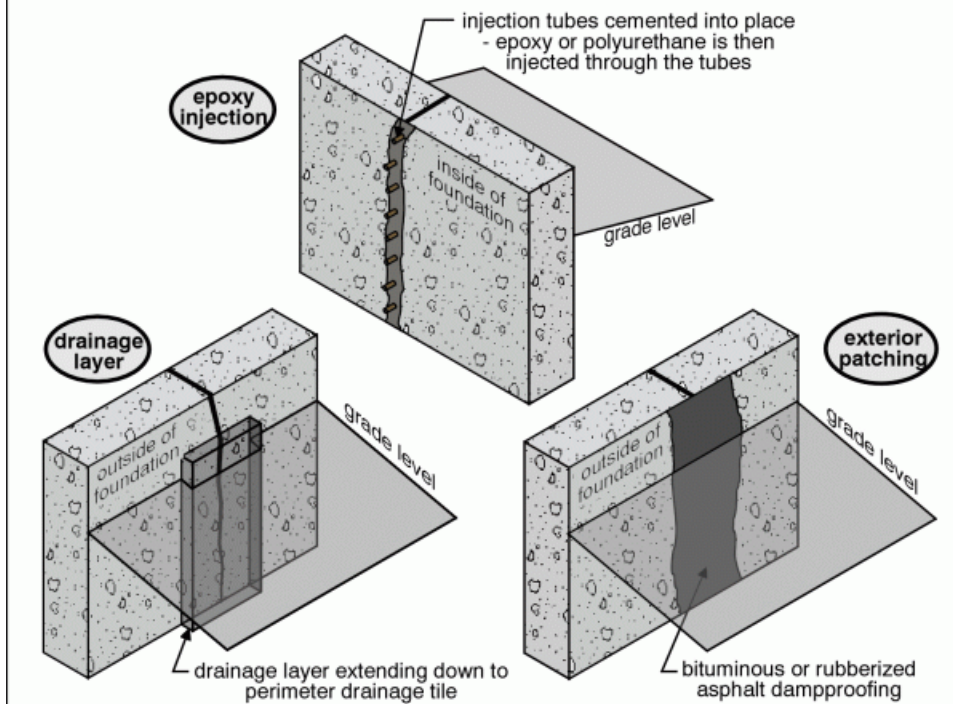
**Location:** South Basement Foundation

**Task:** Monitor

**Time:** Ongoing



## Patching cracks



## Crack repair - epoxy and polyurethane injection

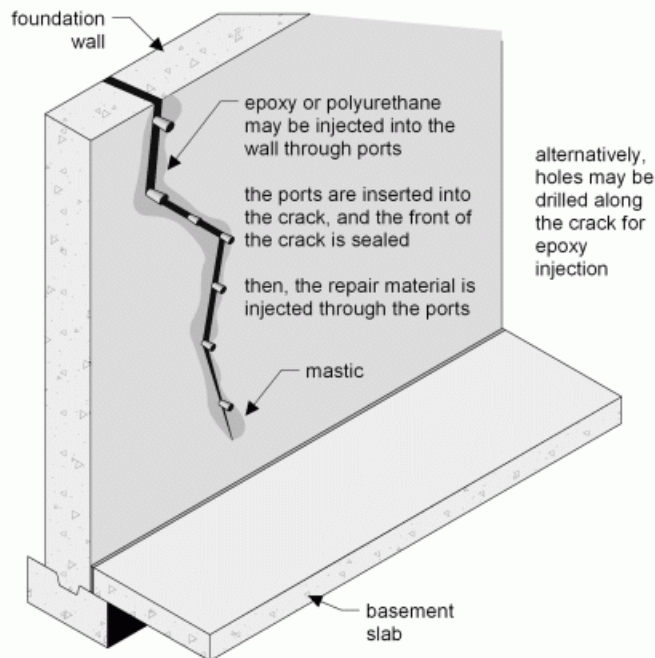
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

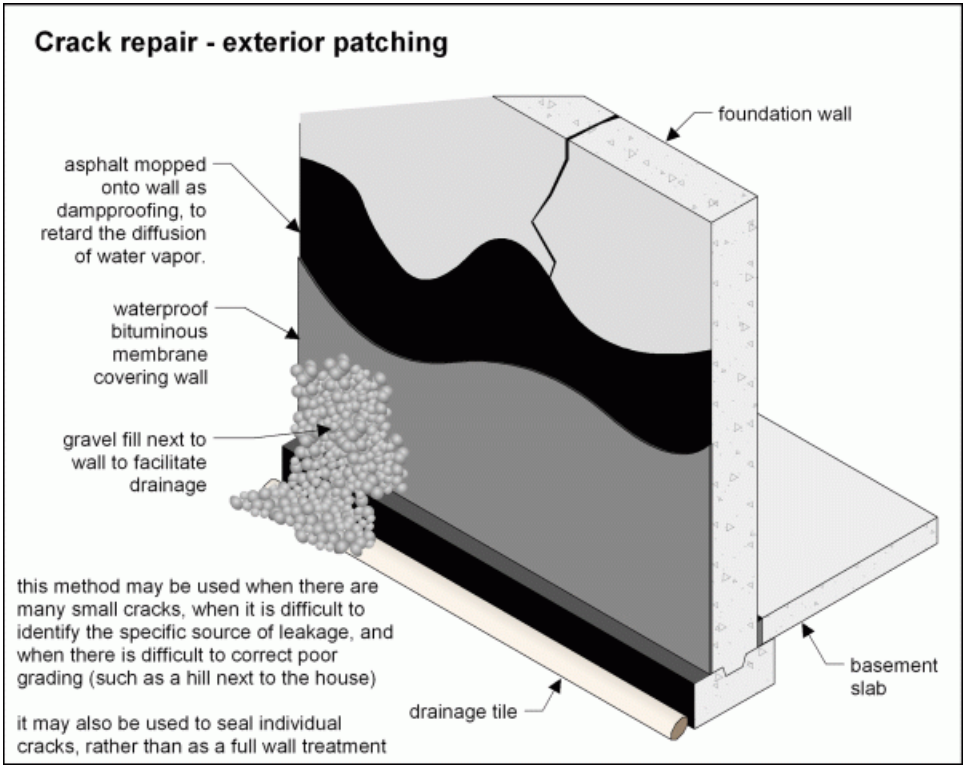
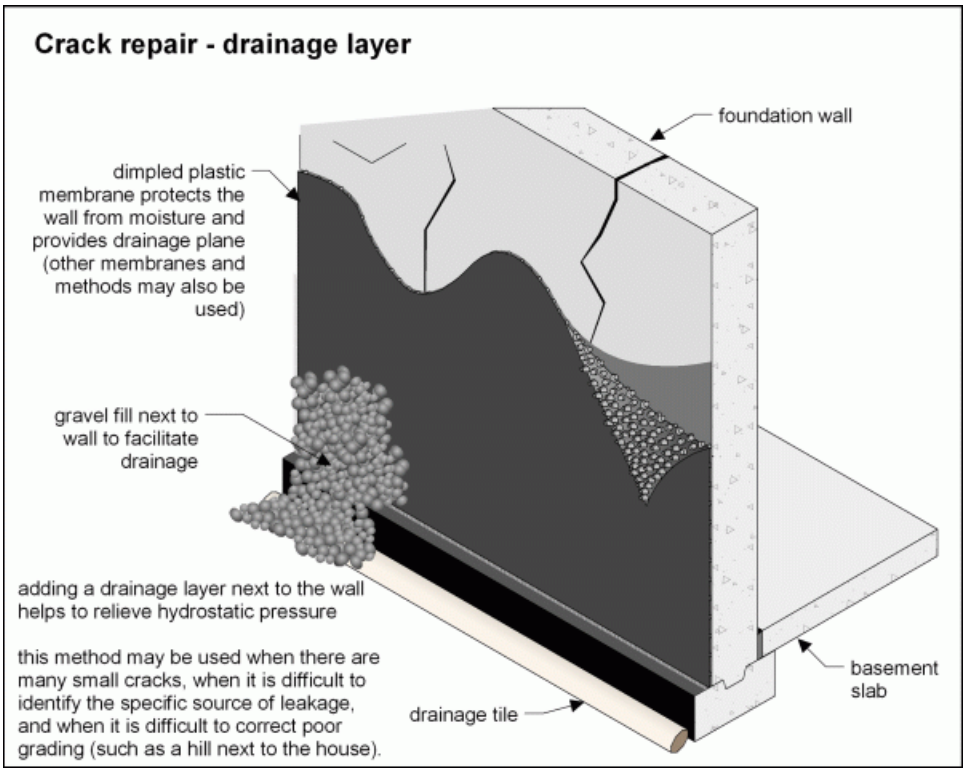
epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



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41. Typical minor cracks



42. Typical minor cracks

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## Description

**Service entrance cable and location:** • [Underground - cable material not visible](#)

**Service size:** • [100 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [125 Amps](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution panel rating:** • [125 Amps](#)

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#) • [GFCI - exterior](#) • [GFCI - kitchen](#) • AFCI - panel

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • None noted

## Limitations

**Inspection limited/prevented by:** • Storage • Insulation • AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner.

**Panel covers:** • Disconnect covers are not removed by the building inspector

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

**Not included as part of a building inspection:** • Remote control devices • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms

## Recommendations / Observations

### **SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors**

**17. Condition:** • [Conduit or cable damaged](#)

The tree growing against the south foundation wall has damaged the hydro conduits below the meter base. Contact hydro about repairing the conduit.

**Implication(s):** Electric shock | Interruption of electrical service

**Location:** South Exterior Yard

**Task:** Repair

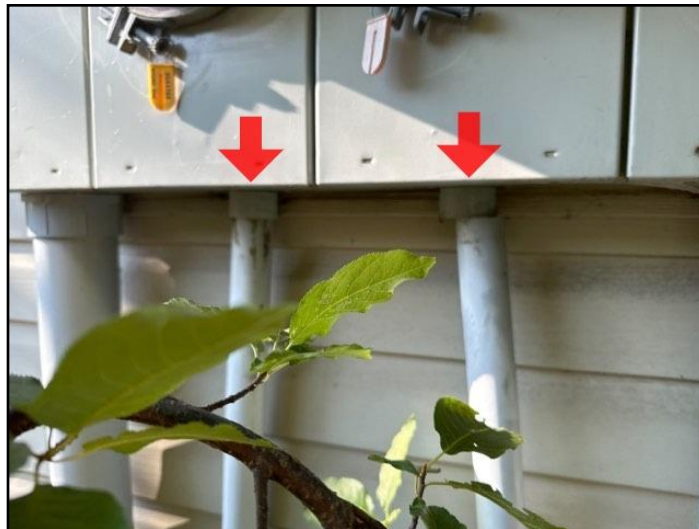
**Time:** Contact hydro



43. Conduit or cable damaged



44. Conduit or cable damaged



45. Conduit or cable damaged

### **SERVICE BOX, GROUNDING AND PANEL \ Distribution panel**

**18. Condition:** • [The house is equipped with a Federal Pacific Electrics Stab-Lok circuit breakers.](#)

The house is equipped with a Federal Pioneer Electric's "Stab-Lok" breaker panel. The breakers on these panels should be tested to determine that they are functioning properly. If the breakers are not functioning properly, they may fail to trip.

**Location:** West Basement Storage Room

**Task:** Further evaluation by an electrician

**Time:** At this time

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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46. The house is equipped with a Federal Pacifi...

## DISTRIBUTION SYSTEM \ Wiring (wires) - installation

### 19. Condition: • [Modified or added wiring](#)

Request a copy of the Electric Safety Authority (E.S.A.) inspection certificate from the seller for the modified and/or added wiring after the original construction of the house. The visible wiring that has been modified in the basement is poorly done.

**Location:** Basement First Floor

**Task:** Request documentation

**Time:** At this time



47. Modified or added wiring



48. Modified or added wiring

# ELECTRICAL

1 INSPECTION WAY, Ottawa, ON September 21, 2023

Report No. 3484, v.2

[www.abinspections.ca](http://www.abinspections.ca)

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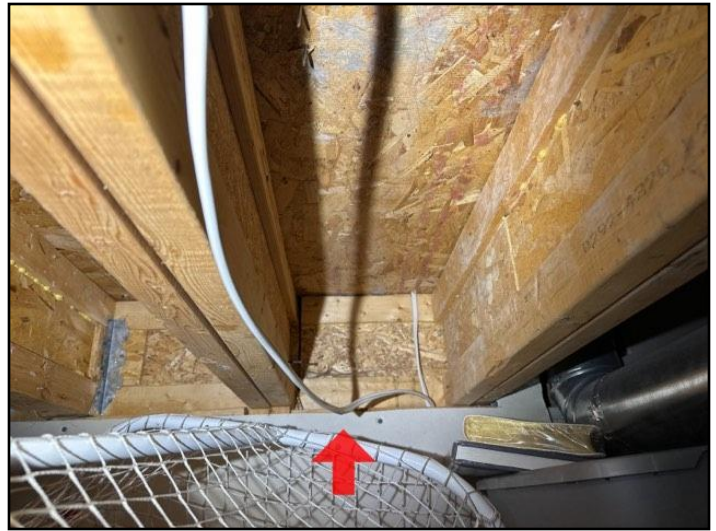
PLUMBING

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49. Modified or added wiring



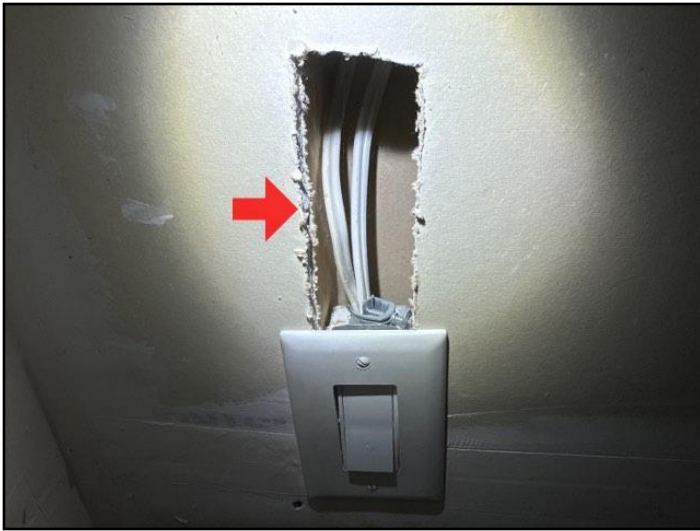
50. Modified or added wiring



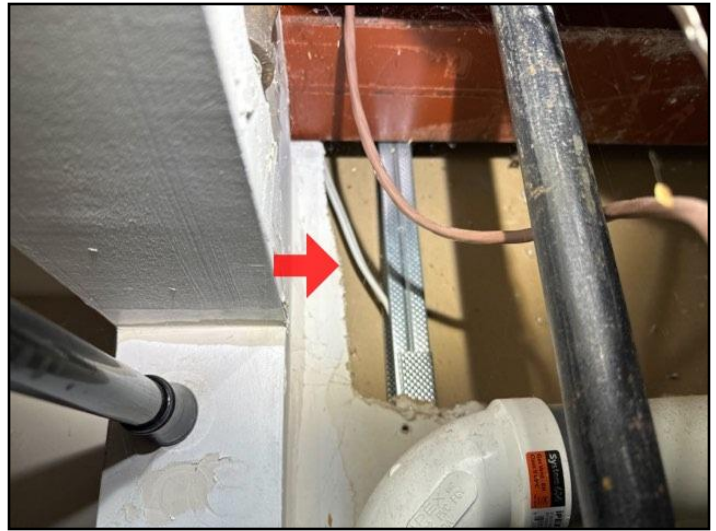
51. Modified or added wiring



52. Modified or added wiring



53. Modified or added wiring



54. Modified or added wiring



55. Modified or added wiring

## **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**20. Condition:** • [Open neutral](#)

Repair the GFCI in the kitchen that is not wired properly.

**Implication(s):** Electric shock

**Location:** Middle First Floor Kitchen

**Task:** Repair

**Time:** Before using





56. Open neutral

**21. Condition:** • [Loose](#)

Repair the loose outlet t the rear of the house.

**Implication(s):** Electric shock | Fire hazard

**Location:** East First Floor Exterior Wall

**Task:** Repair

**Time:** Before using



57. Loose

**22. Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Provide the missing GFCI outlet for the basement bathroom.

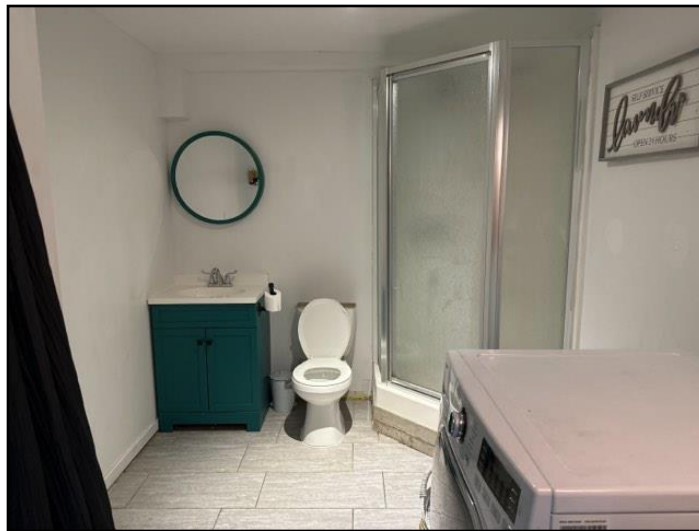
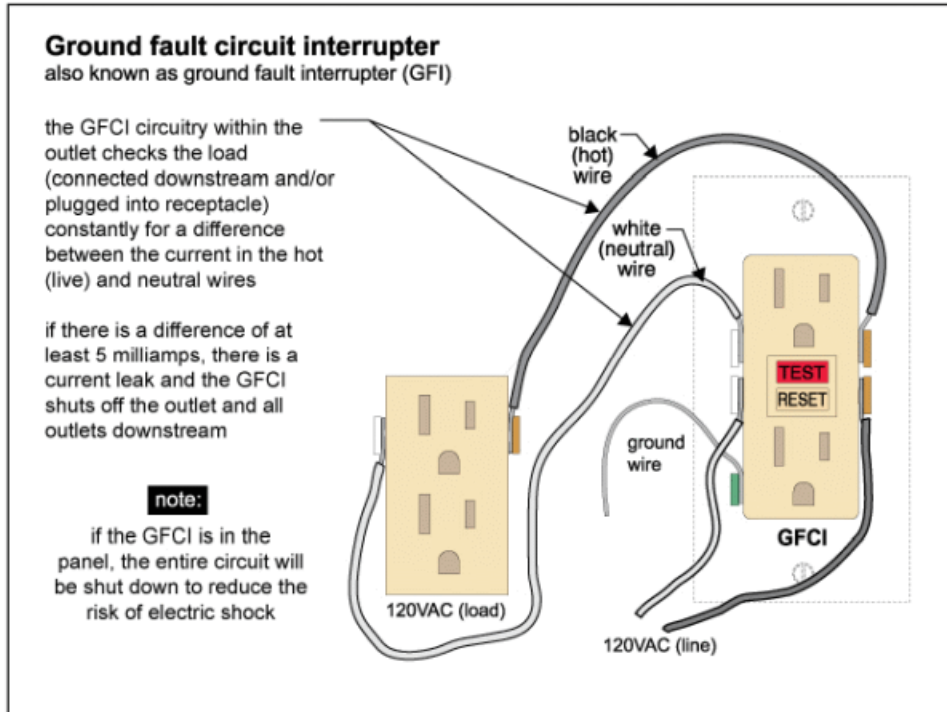
**Implication(s):** Electric shock

**Location:** West Basement Bathroom

**Task:** Provide

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Time:** Less than 1 year



58. GFCI/GFI needed (Ground Fault Circuit...

**DISTRIBUTION SYSTEM \ Switches**

**23. Condition:** • 3-way not working as intended

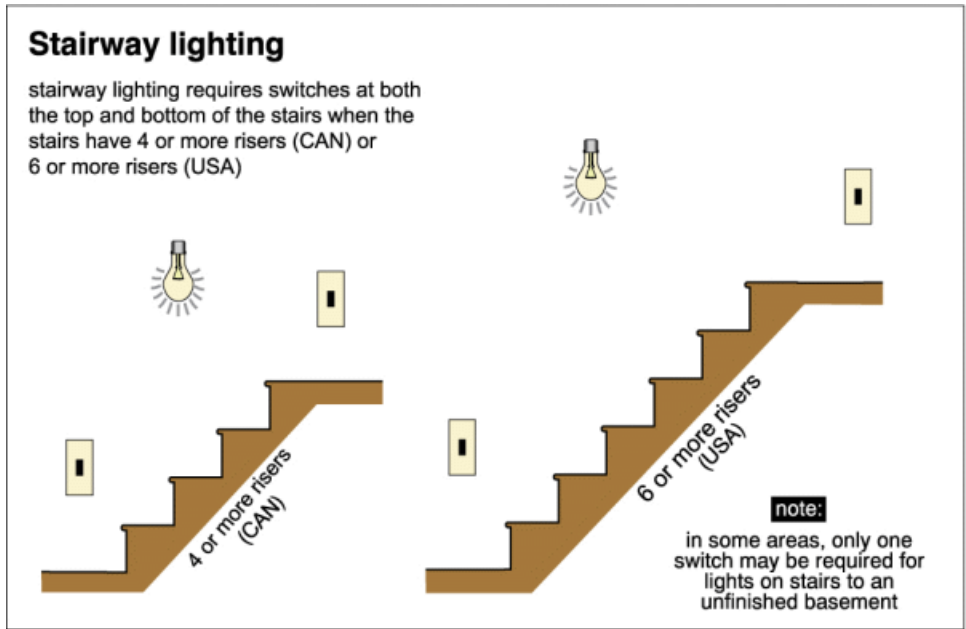
Repair the switches in the basement bathroom. The 3-way switch is not wired correctly and there is not a switch that is accessible within 5 feet of the door opening.

**Implication(s):** Nuisance | Fall hazard

**Location:** West Basement Bathroom

**Task:** Repair

Time: Upon possession



59. 3-way not working as intended



60. 3-way not working as intended

**DISTRIBUTION SYSTEM \ Cover plates**

24. Condition: • [Missing](#)

Provide the missing switch cover plate in the garage.

**Implication(s):** Electric shock

**Location:** West First Floor Garage

**Task:** Provide

**Time:** Upon possession



61. Missing

## DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

25. Condition: • None

Replace the second floor electrically interconnected smoke detector with a combination smoke/CO detector.

**Implication(s):** Health hazard

**Location:** Middle Second Floor Hallway

**Task:** Provide

**Time:** Upon possession

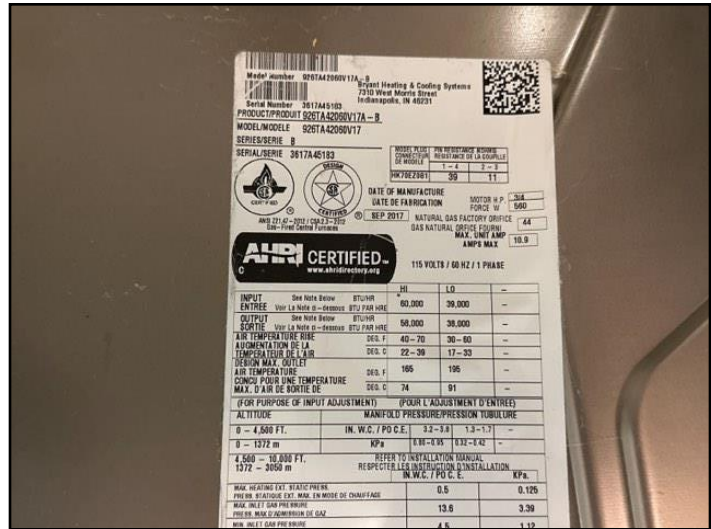


62. None

## Description

Heating system type:

- [Furnace](#)



63. Furnace

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent](#)

Combustion air source: • Outside

Approximate age: • [6 years](#)

Main fuel shut off at: • Meter

Fireplace/stove: • [Gas fireplace](#)

Chimney/vent: • Sidewall venting

Chimney liner: • [Metal](#)

Mechanical ventilation system for building: • Bathroom exhaust fan

Location of the thermostat for the heating system: • First Floor

## Limitations

**Inspection prevented/limited by:** • A/C or heat pump operating

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible

**Not included as part of a building inspection:** • Heat exchangers • Fireplace seals and gaskets

## Recommendations / Observations

### FURNACE \ General notes

**26. Condition:** • Service Furnace

The furnace has been lacking maintenance and is full of dust and debris. There are signs of a condensation leak at the front of the furnace. The furnace needs to be serviced at this time. The furnace should be serviced annually in the fall before the start of the heating season going forward.

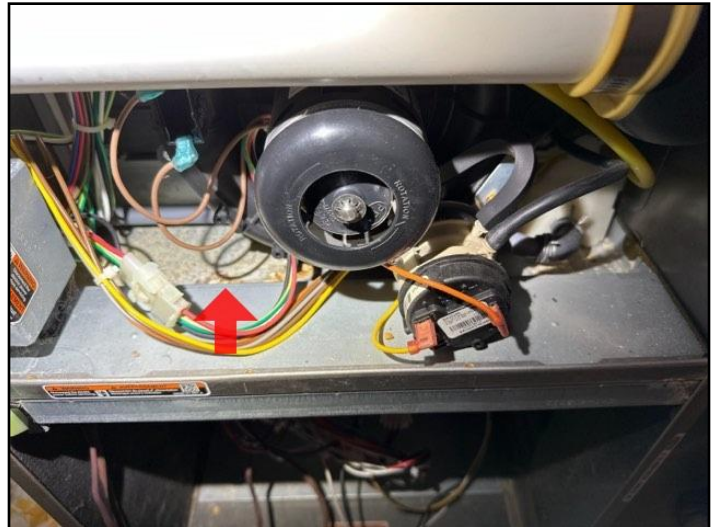
**Location:** West Basement Furnace Room

**Task:** Service

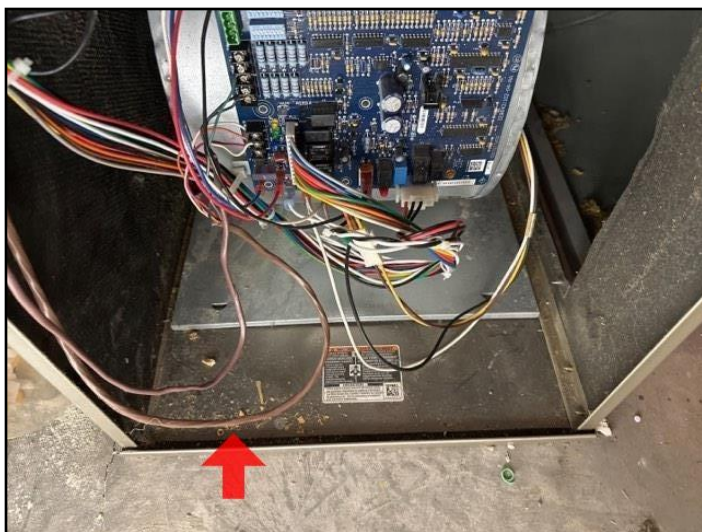
**Time:** At this time



64. Service Furnace



65. Service Furnace



66. Service Furnace



67. Service Furnace



68. Service Furnace

## FURNACE \ Filter

**27. Condition:** • [Dirty](#)

The furnace filter should be changed every month. Use 16"x 25"x 1" low restriction merv 8 filters when changing. The arrow on the filter should point towards the furnace.

**Implication(s):** Increased heating costs | Reduced comfort

**Location:** West Basement Furnace Room

**Task:** Replace

**Time:** Monthly



69. Dirty

### GAS FURNACE \ Gas piping

**28. Condition:** • Gas lines can only be modified by a gas fitter

The roughed in gas lines for the stove, dryer, and BBQ have been connected to the main gas line in the basement. Request a copy of the invoice from the homeowner for the work that was done by a licensed gas fitter.

**Location:** West Basement Bathroom

**Task:** Request information

**Time:** At this time



70. Gas line can not be modified by person othe...



71. Gas line can not be modified by person othe...

### GAS FURNACE \ Venting system

**29. Condition:** • Rust, dirty, obstructed

Remove the deck railing obstructing the end of the furnace exhaust vent.

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home



**Location:** East Exterior Deck

**Task:** Repair

**Time:** At this time



72. Rust, dirty, obstructed

### **FIREPLACE \ Gas fireplace or gas logs**

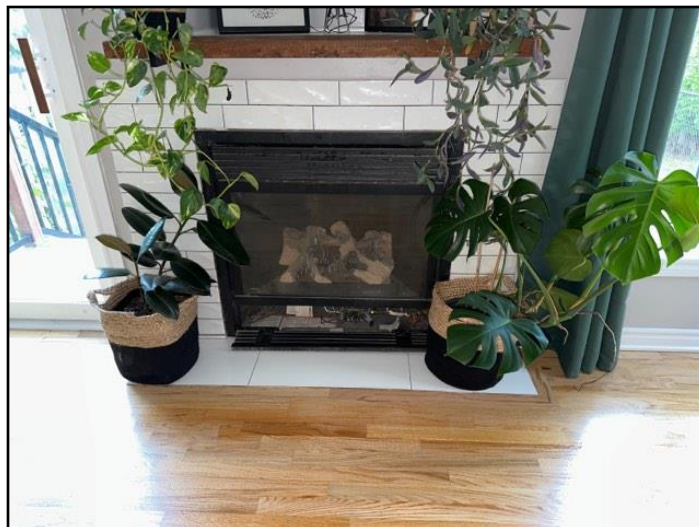
**30. Condition:** • Service gas fireplace

The pilot light for the gas fireplace would not ignite during the inspection. The gas shut-off valve was in the on position.

**Location:** East First Floor Living Room

**Task:** Further evaluation by a specialist

**Time:** At this time



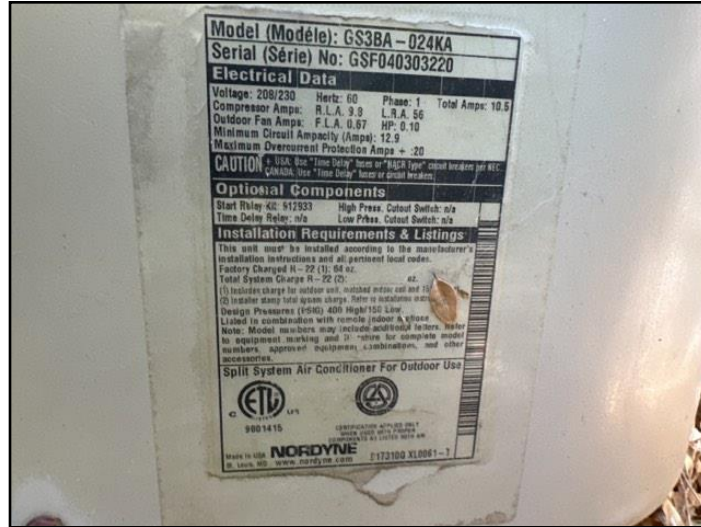
73. Service gas fireplace

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

### Air conditioning type:

- [Air cooled](#)



74. Air cooled

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • 20 years

Failure probability: • [High](#)

## Limitations

Heat gain/loss calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

Not included as part of a building inspection: • Cooling system adequacy

## Recommendations / Observations

### AIR CONDITIONING \ Life expectancy

31. Condition: • [Near end of life expectancy](#)

The A/C system should be budgeted for replacement due to the age and condition of the unit.

Implication(s): Equipment failure | Reduced comfort

Location: South Exterior Yard

Task: Replace

Time: As required

# COOLING & HEAT PUMP

1 INSPECTION WAY, Ottawa, ON September 21, 2023

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[www.abinspections.ca](http://www.abinspections.ca)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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75. Near end of life expectancy

## AIR CONDITIONING \ Air cooled condenser coil

**32. Condition:** • Poor access

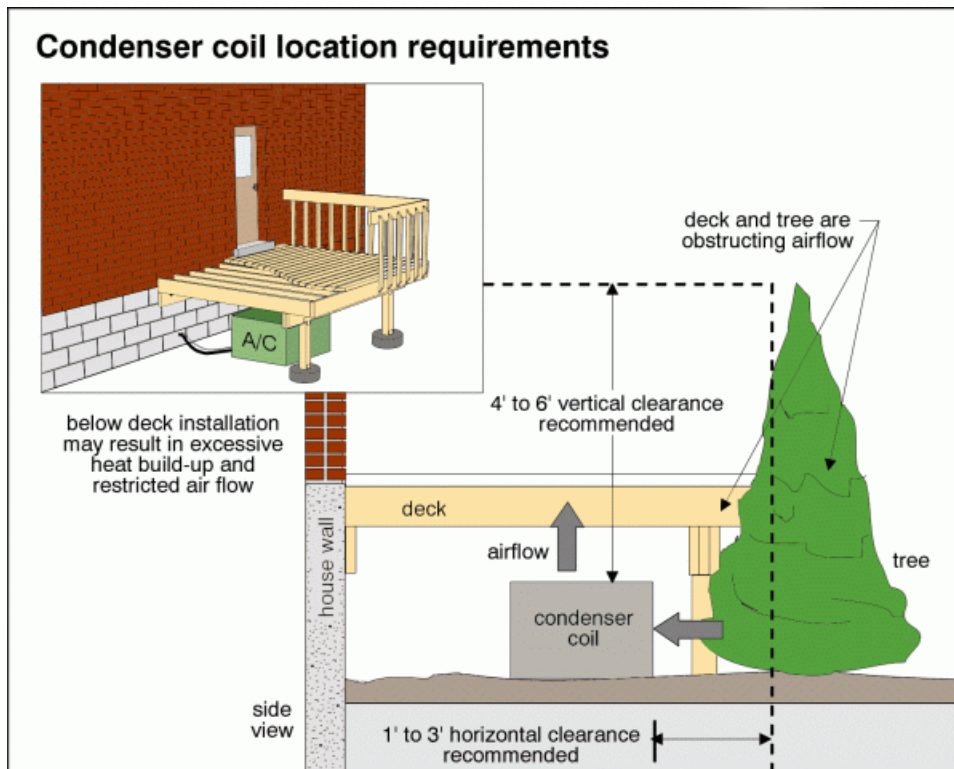
Improve the clearance around the exterior A/C coil. The coil requires 24" of clearance to the side and 48" of clearance above.

**Implication(s):** Difficult to service

**Location:** South Exterior Yard

**Task:** Improve

**Time:** As soon as practical



# COOLING & HEAT PUMP

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76. Poor access

# INSULATION AND VENTILATION

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## Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • [R-40](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof vent](#) • [Soffit vent](#)

Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • [R-20](#)

Wall air/vapor barrier: • Plastic

Foundation wall insulation material: • [Glass fiber](#)

Foundation wall insulation amount/value: • [R-12](#)

Foundation wall air/vapor barrier: • Plastic

Floor above porch/garage insulation material: • No access

Floor above porch/garage insulation amount/value: • No access

Floor above porch/garage air/vapor barrier: • No access

## Limitations

Inspection limited/prevented by lack of access to: • Floor space • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Not included as part of a building inspection: • Insulation cannot be disturbed

## Recommendations / Observations

### ATTIC/ROOF \ Insulation

**33. Condition:** • [Compressed](#)

Provide additional insulation in the attic where the insulation has been compressed by pest activity. The insulation should only be added after it is confirmed that the pest issue has been resolved.

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Throughout Second Floor Attic

**Task:** Repair

**Time:** After confirming the pest issue has been resolved

# INSULATION AND VENTILATION

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77. Compressed



78. Compressed



79. Compressed

## ATTIC/ROOF \ Roof vents

34. Condition: • [Obstructed](#)

The holes in the roof sheathing should be increased in size to accommodate the full size of the roof vents.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** South East Second Floor Roof

**Task:** Improve/correct

**Time:** As soon as practical

# INSULATION AND VENTILATION

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80. *Obstructed*



81. *Obstructed*

## Description

**Water supply source (based on observed evidence):** • Public

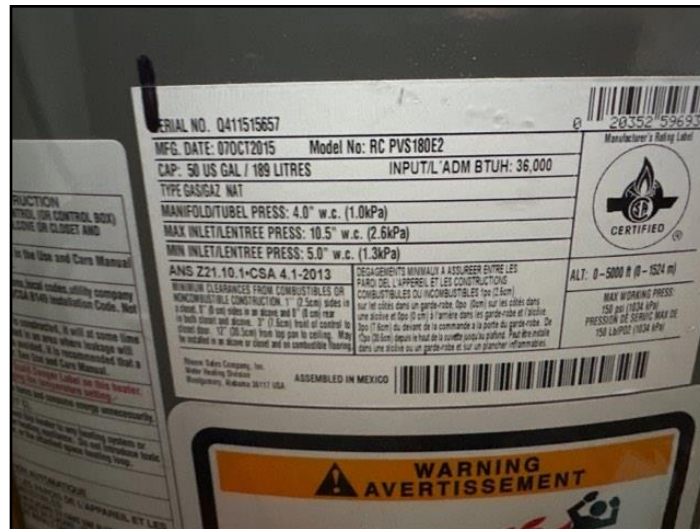
**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Front of the basement

**Water heater type:**

• [Induced draft](#)



82. Induced draft

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Direct vent

**Water heater tank capacity:** • 50 gallons

**Water heater approximate age:** • 8 years

**Water heater failure probability:** • [Medium](#)

**Hot water temperature (Generally accepted safe temp. is 120° F):** • None

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [ABS plastic](#)

**Floor drain location:** • Near heating system

**Backwater valve:** • Present

**Exterior hose bibb (outdoor faucet):** • Present



## Limitations

**Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

**Not included as part of a building inspection:** • Washing machine connections

## Recommendations / Observations

### WATER HEATER \ Hot/cold piping

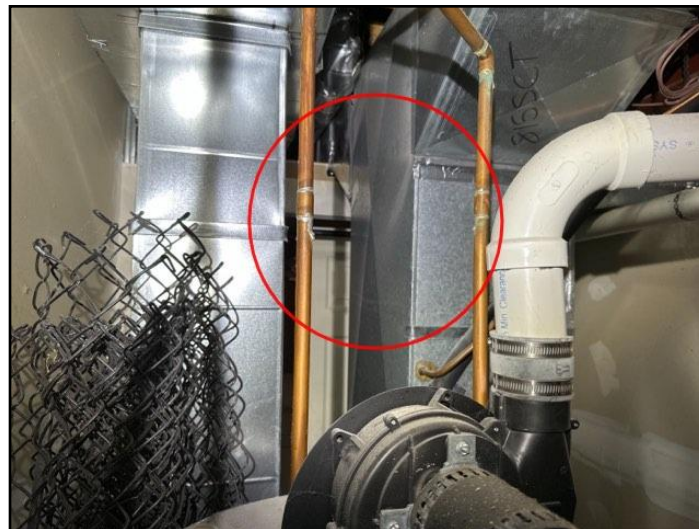
**35. Condition:** • [Anti-scald valve is required as per O.B.C. 7.6.5.](#)

Provide the missing anti-scald valve at the water heater.

**Location:** West Basement Furnace Room

**Task:** Provide

**Time:** Upon possession



**83.** *Anti-scald valve is required as per O.B.C....*

### WATER HEATER - GAS BURNER AND VENTING \ Venting system

**36. Condition:** • [Rust, dirty, obstructed](#)

Remove the deck railing obstructing the end of the water heater exhaust vent.

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

**Location:** East Exterior Deck

**Task:** Repair

**Time:** At this time



84. Rust, dirty, obstructed

### WASTE PLUMBING \ Drain piping - installation

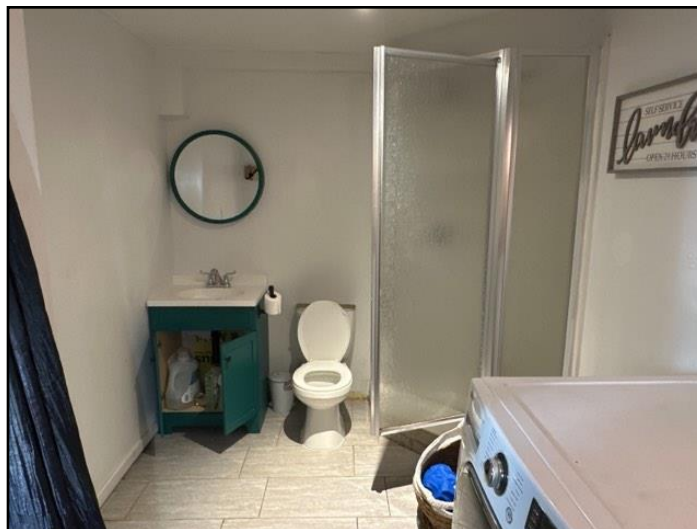
**37. Condition:** • Bathroom added to house

The basement bathroom was added after original construction of the house. The bathroom would have required a plumbing permit from the City of Ottawa. Request a copy of the permit and all the completed inspection from the seller.

**Location:** West Basement Bathroom

**Task:** Request permit information

**Time:** At this time



85. Bathroom added to house

### FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

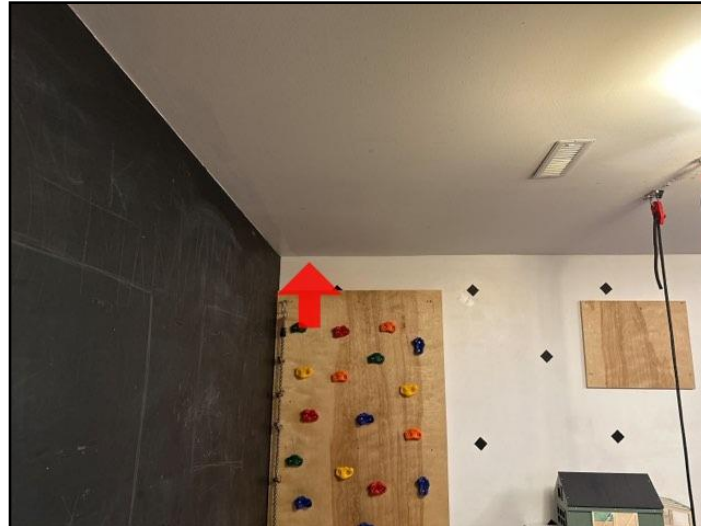
**38. Condition:** • Winterize hose bib

Provide access to the interior shut-off valve for the rear exterior faucet.

**Location:** East Basement Family Room

**Task:** Repair

**Time:** Before winter



86. Winterize hose bib

### FIXTURES AND FAUCETS \ Faucet

**39. Condition:** • Missing

Provide the missing handle for the kitchen faucet.

**Implication(s):** No water

**Location:** Middle First Floor Kitchen

**Task:** Provide

**Time:** At this time



87. Missing

### FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**40. Condition:** • [Leak](#)

Repair the leak from the faucets in the first floor bathroom. The leak is going down into the basement.

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building

**Location:** West First Floor Bathroom

**Task:** Repair

**Time:** At this time



88. Leak



89. Leak



90. Leak

## **FIXTURES AND FAUCETS \ Shower stall enclosure**

**41. Condition:** • [Leak](#)

Repair the leak from the basement bathroom shower stall before using.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** West Basement Bathroom

**Task:** Repair

**Time:** Before using



91. Leak

92. Leak

**FIXTURES AND FAUCETS \ Toilet**

42. Condition: • [Loose](#)

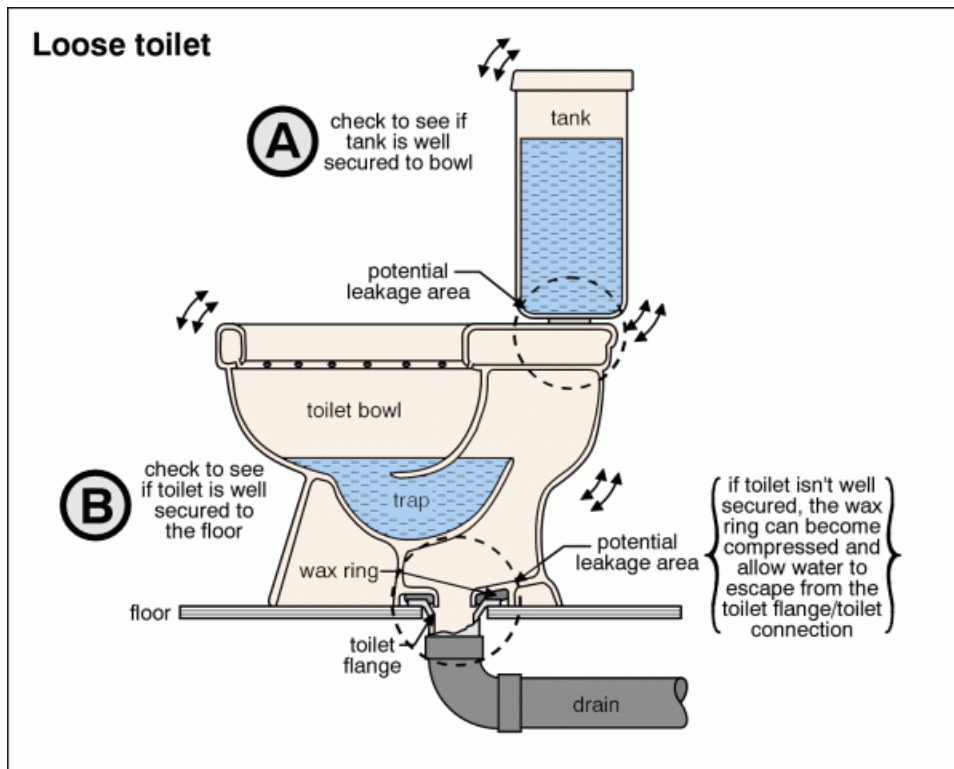
Repair the loose toilet in the second floor bathroom. When repairing the toilet, the seal should be replaced.

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Middle Second Floor Bathroom

**Task:** Repair

**Time:** Upon possession



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93. Loose

**43. Condition:** • [Floor damage suspected](#)

The tile on the first floor of the house has been installed over the original flooring. The tile is not correctly installed and has covered the bottom flange of the toilet. The tile will need to be removed so that the tile goes below the base of the toilet.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** West First Floor Bathroom

**Task:** Repair

**Time:** At this time



94. Floor damage suspected



95. Floor damage suspected



96. Floor damage suspected

**44. Condition:** • [Broken or cracked tank lids, bowls or seats](#)

Provide the missing lid for the basement bathroom toilet water closet.

**Implication(s):** Chance of water damage to structure, finishes and contents | Physical injury

**Location:** West Basement Bathroom

**Task:** Provide

**Time:** At this time



97. Broken or cracked tank lids, bowls or seats

## Description

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Vinyl • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Sliders](#) • [Casement](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • [Sliding glass](#) • [Metal](#) • Garage door - metal

Kitchen ventilation: • Range hood • Discharges to exterior

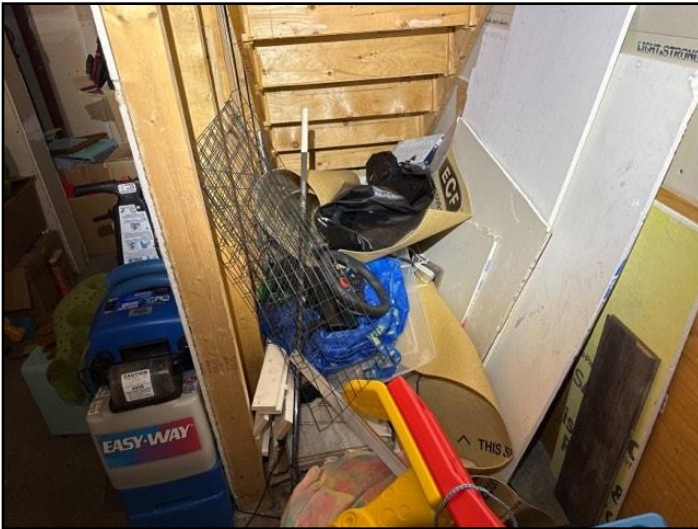
Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

## Limitations

Inspection limited/prevented by:

- Carpet
- Storage/furnishings

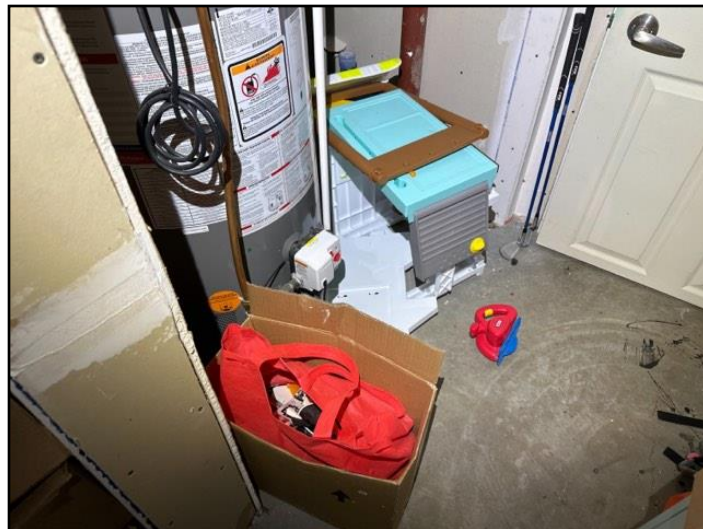
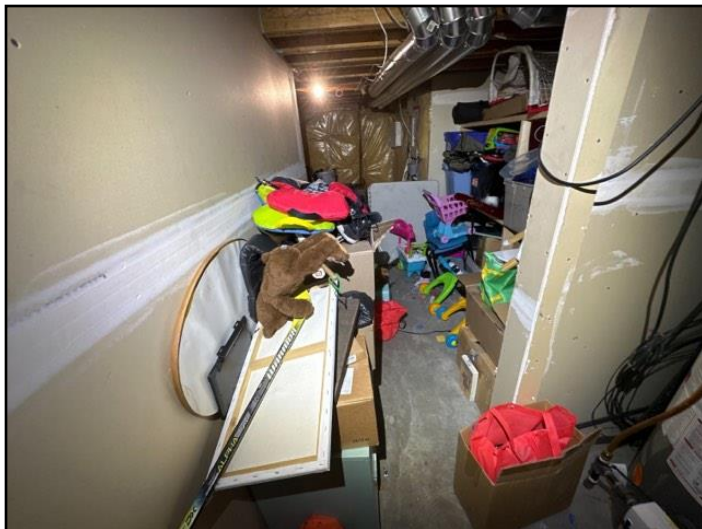


98. Storage/furnishings



99. Storage/furnishings





100. Storage/furnishings

101. Storage/furnishings

- New finishes/paint
- Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Central vacuum systems • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Window coatings and seals between panes of glass

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

## Recommendations / Observations

### **RECOMMENDATIONS \ General**

#### **45. Condition:** • [Pest activity evident](#)

There are signs of extensive pest issues throughout the exterior and interior of the house. Hire an independent pest control contract to evaluate the pest issue to determine if the existing work has been done properly and if there are still pest present in the house.

**Location:** Throughout Exterior Interior

**Task:** Further evaluation by a specialist

**Time:** At this time

# INTERIOR

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102. Pest activity evident



103. Pest activity evident



104. Pest activity evident



105. Pest activity evident

# INTERIOR

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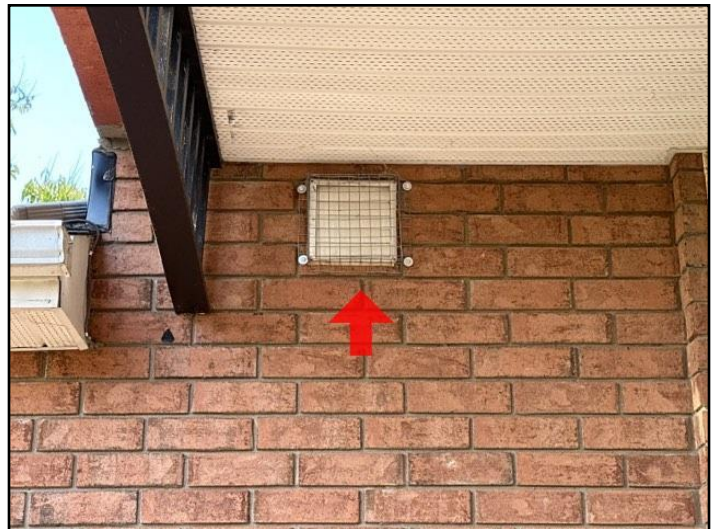
106. Pest activity evident



107. Pest activity evident



108. Pest activity evident



109. Pest activity evident

# INTERIOR

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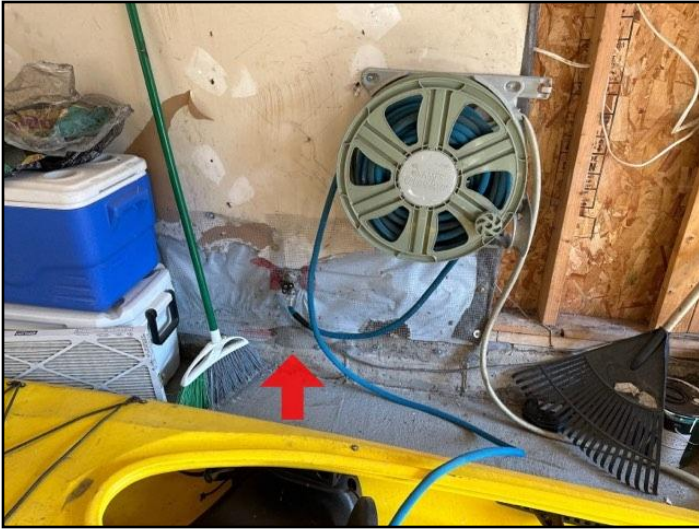
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PLUMBING

INTERIOR

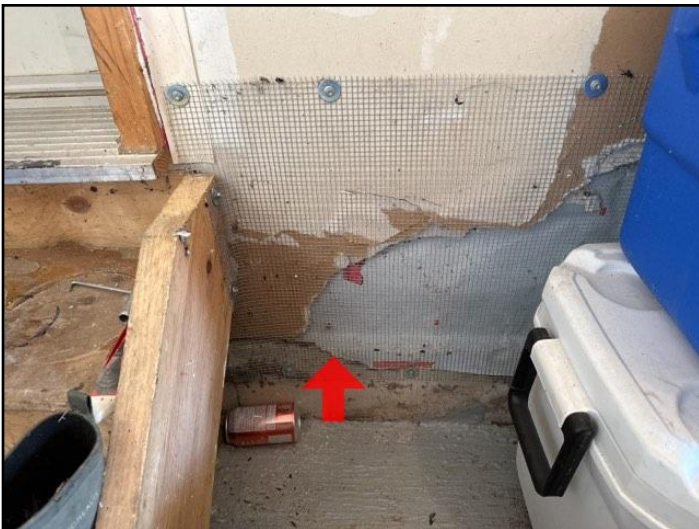
REFERENCE



110. Pest activity evident



111. Pest activity evident



112. Pest activity evident



113. Pest activity evident

# INTERIOR

1 INSPECTION WAY, Ottawa, ON September 21, 2023

Report No. 3484, v.2

[www.abinspections.ca](http://www.abinspections.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



114. Pest activity evident



115. Pest activity evident



116. Pest activity evident



117. Pest activity evident

# INTERIOR

1 INSPECTION WAY, Ottawa, ON September 21, 2023

Report No. 3484, v.2

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SUMMARY

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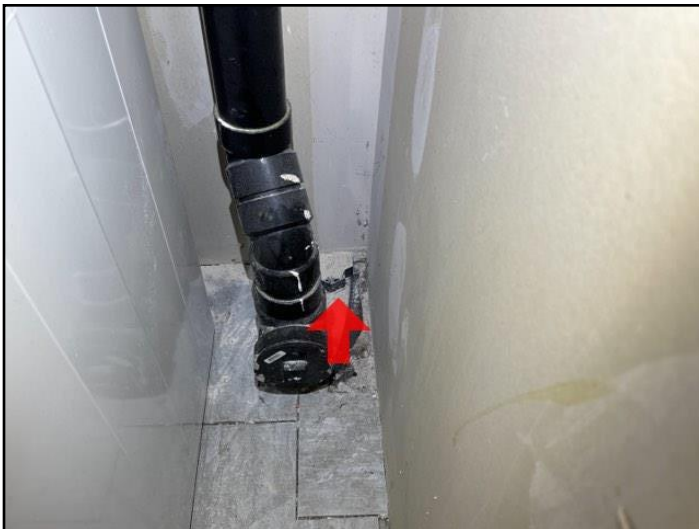
REFERENCE



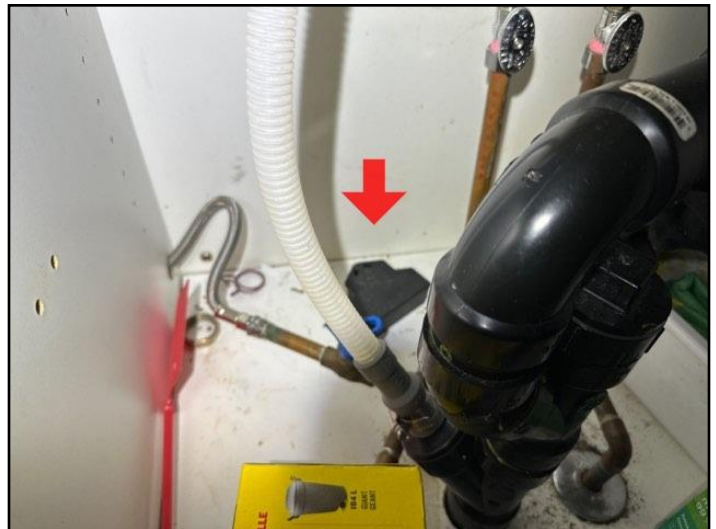
118. Pest activity evident



119. Pest activity evident



120. Pest activity evident



121. Pest activity evident

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1 INSPECTION WAY, Ottawa, ON September 21, 2023

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122. Pest activity evident



123. Pest activity evident



124. Pest activity evident



125. Pest activity evident

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126. Pest activity evident



127. Pest activity evident



128. Pest activity evident

## CEILINGS \ General notes

**46. Condition:** • Patched

Request information from the seller about the drywall patch on the dining room ceiling below the second floor bathroom.

**Implication(s):** Chance of damage to contents, finishes and/or structure

**Location:** East First Floor Dining Room

**Task:** Request information

**Time:** At this time





129. Patched

## STAIRS \ Handrails and guards

47. Condition: • [Missing](#)

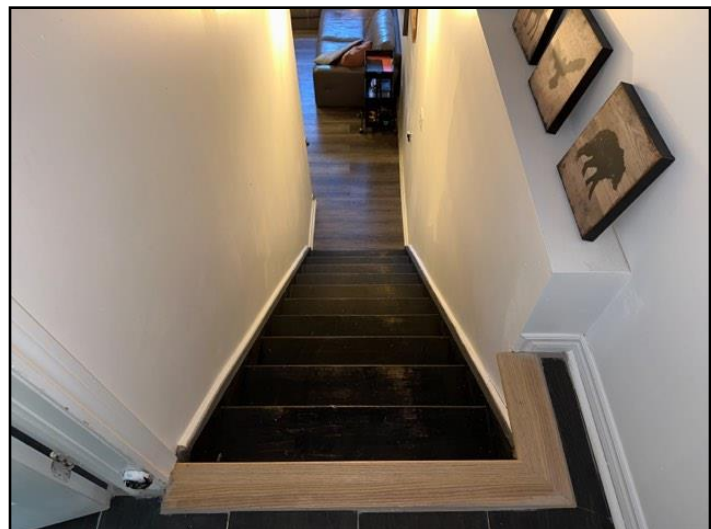
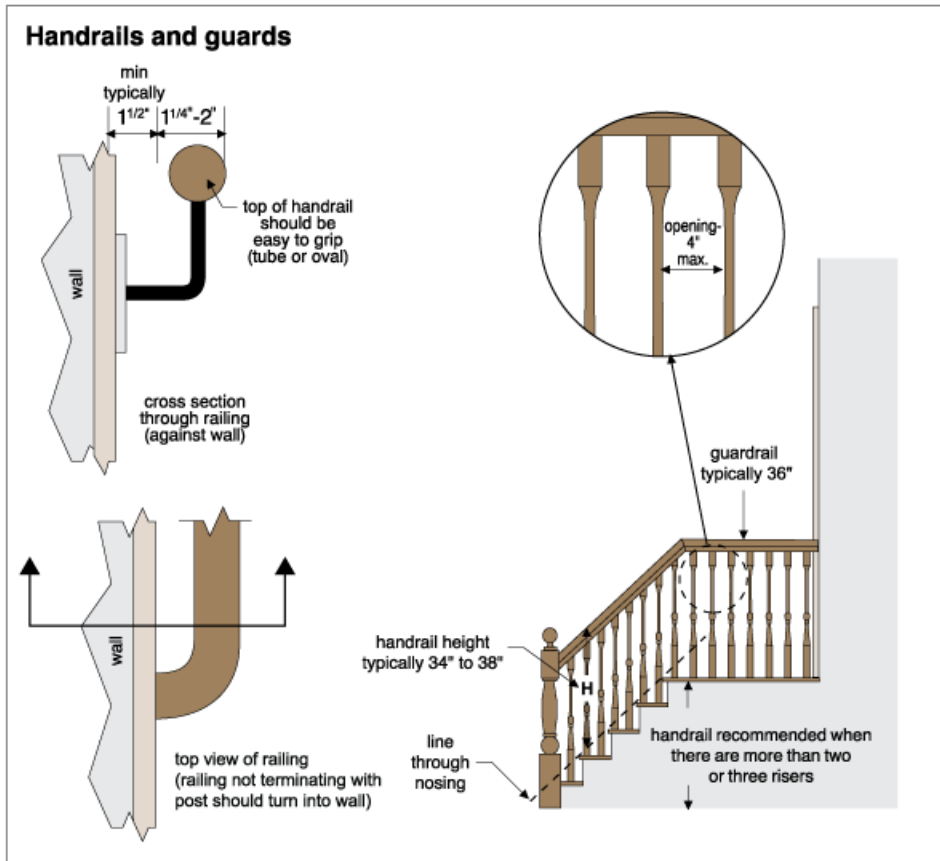
Install the missing handrail for the basement stairs.

**Implication(s):** Fall hazard

**Location:** South Basement Staircase

**Task:** Provide

**Time:** Upon possession



130. Missing

**APPLIANCES \ Dryer**

48. Condition: • Clean dryer vent

The dryer exhaust venting system needs to be cleaned regularly. The vent should not be covered with a screen due to lint build-up.

**Location:** East First Floor Exterior Wall

**Task:** Regular maintenance

**Time:** Ongoing



131. Clean dryer vent

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS